

Orcutt|Winslow Project 2017_198-01 Dr. Kumar Medical Clinic, Conceptual Design Sheet A1 design review-general information was plotted by Alex Buittner on Monday, January 29, 2018 at 11:13 AM. file found at BIM Server: HC Bimserver - BIM Server 21/Health Care Studio/TZ_198-01_Dr. Kumar MOB



Dr. Shantha Kumar

Dr. Kumar Medical Clinic

7615 E. Baseline Road, Mesa, Arizona 85209

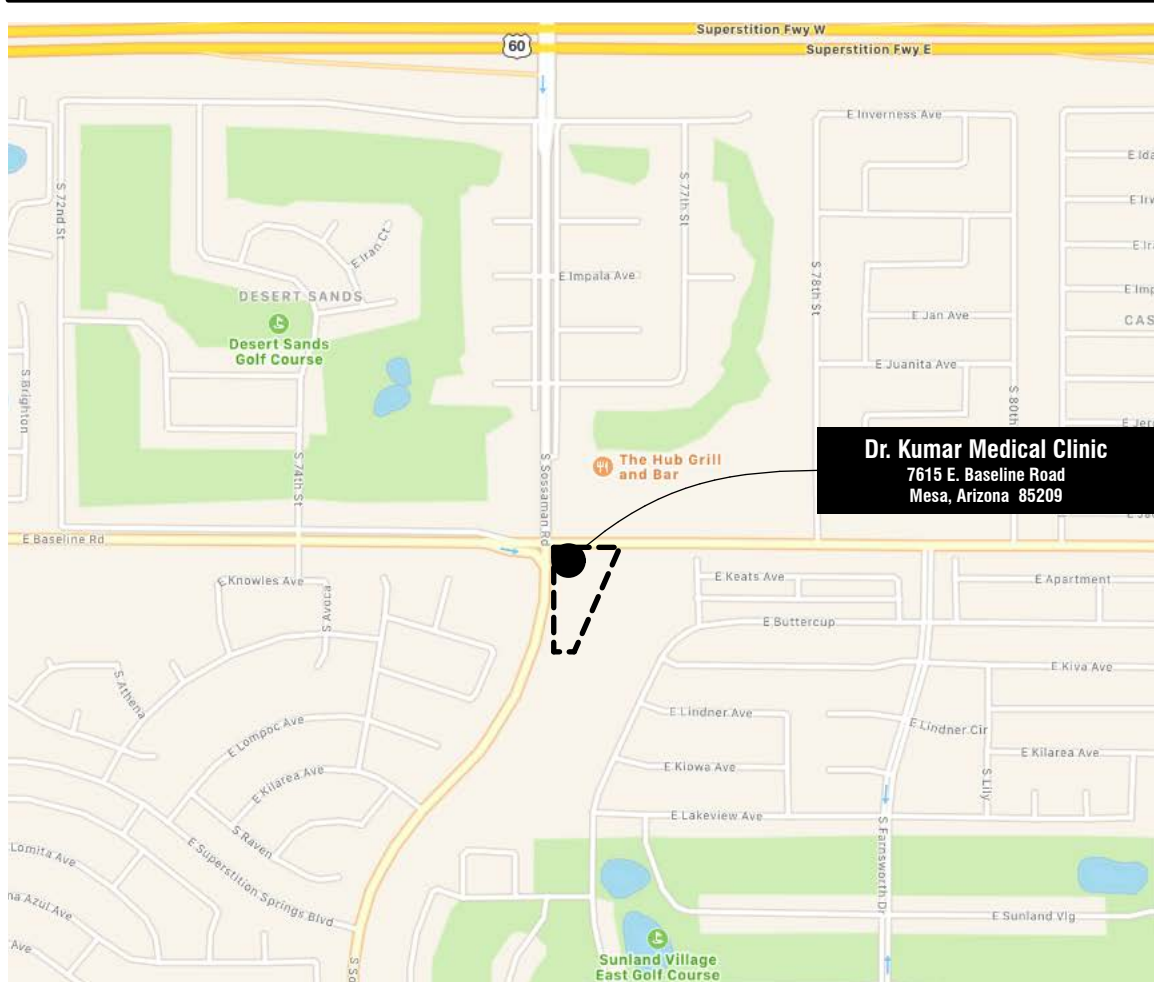
CONSULTANT INFO

CIVIL ENGINEER
3 ENGINEERING LLC
6370 E. Thomas Rd. Suite 200
Scottsdale, AZ 85251
t 602-334-4387 f 602-490-3230

MECHANICAL, PLUMBING & ELECTRICAL ENGINEER
DHE ENGINEERING
2600 North Central Avenue
Suite 626
Phoenix, Arizona 85004
t 602.606.7432

STRUCTURAL ENGINEER
CARUSO TURLEY SCOTT INC.
130 South Priest Drive
Tempe, Arizona 85281
t 480.774.1700 f 480.774.1701

VICINITY MAP



VICINITY MAP
NOT TO SCALE

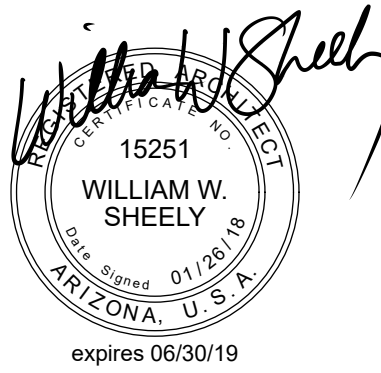
SHEET INDEX

- architecture
A1- general information & sheet index
A2- site plan
A3- landscape plan
A4- exterior elevations
A5- exterior elevations-color
A6- floor plans
A7- building sections
A8- roof plan
A9- building axon
A10- photographs of existing site

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com



© 2017 this first copy or electronic drawing is an instrument of service and the property of the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and publication thereof is expressly limited to such use, in whole or in part, without the written permission of the design professional. Any reproduction, in whole or in part, without the written permission of the design professional, is prohibited. Publication by any method in whole or in part is prohibited without the written permission of the design professional. Any information obtained or conclusions derived from this drawing shall be at the user's sole risk.

Dr. Shantha Kumar
Dr. Kumar Medical Clinic
7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Dr Suite 5
Apache Junction, AZ 85120
602 69402190 t
skumar1030@yahoo.com

PROJECT NO. **2017_198-01** DATE OF ISSUE **01.26.2018**

REVISION NO. DATE

PROJECT TEAM **Healthcare** DRAWN BY **AB**

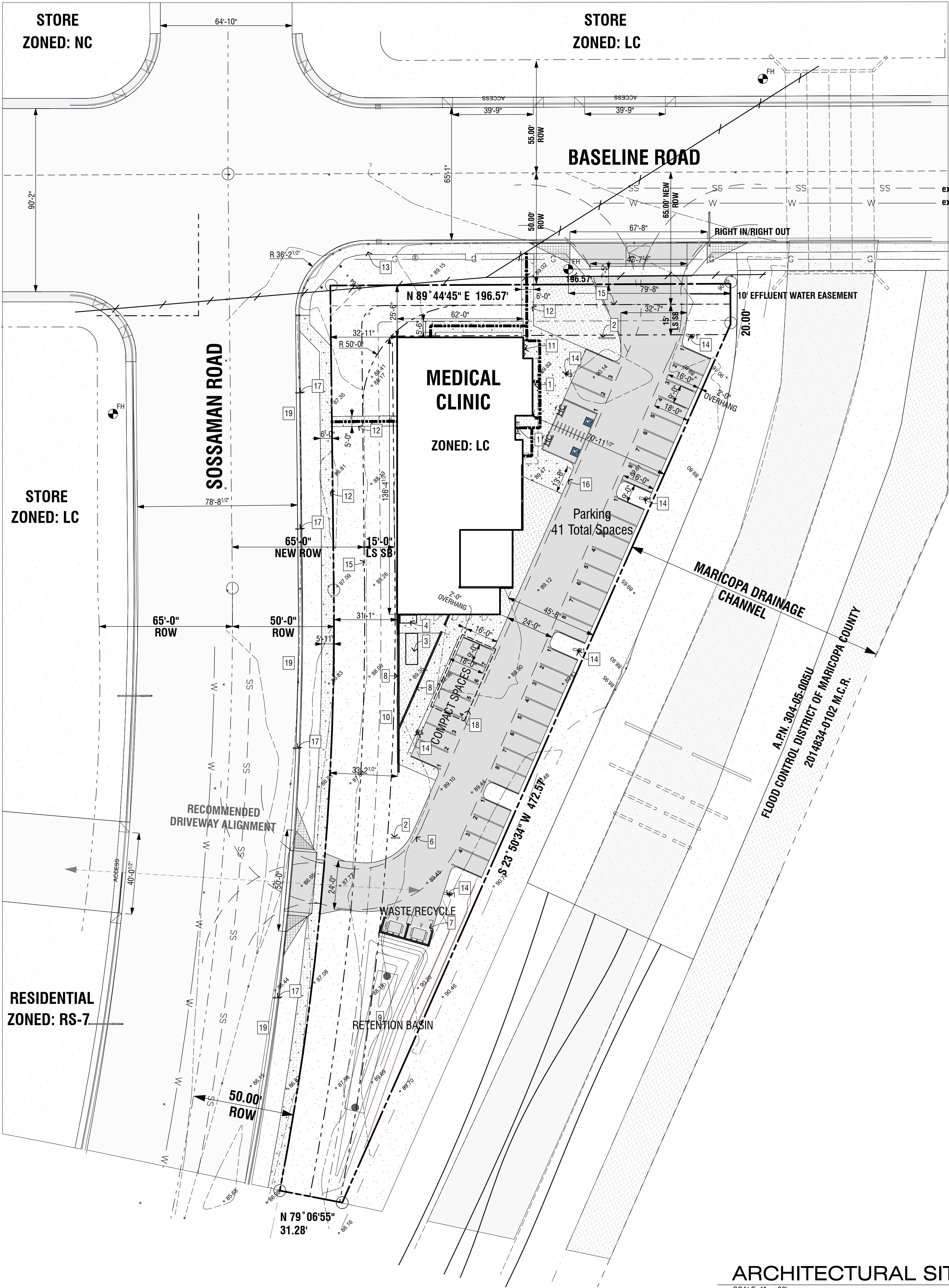
PROJECT PHASE **Design Review**

SHEET CONTENTS
design review-general information

SHEET NO.

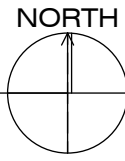
A1

Orcutt|Winslow Project 2017_198-01 Dr. Kumar Medical Clinic, Conceptual Design Sheet A2 design review-site plan was plotted by Alex Buttner on Tuesday, March 6, 2018 at 5:11 PM; file found at BIM Server: HC Rimsaver - BIM Server 2\Health Care Studio\17_198-01_Dr. Kumar MOB



ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'
0 30' 60'



CITY OF MESA FIRE CODES:

1. Required fire apparatus access road during construction or demolition. The access road shall be a minimum of 20 feet wide and shall be an all-weather driving surface, graded to drain standing water and engineered to bear the imposed loads of fire apparatus (74,000lbs/ 24,000lbs per axle) when roads are wet. For example, a minimum of six (6) inches of ABC compacted to 90% over an approved base would meet the requirement.

The access road shall be extended to within 200 feet of any combustible materials and or any location on the jobsite where any person(s) shall be working for a minimum of four (4) continuous hours in any day. A clearly visible sign marked "Fire Department Access", in red letters, shall be provided at the entry to the access road.

All open trenches shall have steel plates capable of maintaining the integrity of the access road design when these trenches cross an access road. These access roads may be temporary or permanent. This policy applies only during construction and/or demolition. Permanent access per the Mesa Fire ZCode shall be in place prior to any final inspection or certificate of occupancy. IFC Chapter 14.

2. Water supply for fire protection. An approved water supply for construction site shall meet the requirements of Appendix Chapters B and C. The minimum fire flow requirement when contractor or developer brings combustible materials on site is 1,500 gpm at 25 psi. At least one fire hydrant shall be within 500 feet of any combustible material and capable of delivering the minimum fire flow requirement. This hydrant or hydrants may be either temporary or permanent as the project schedule permits.

In addition, there are times when hydrants and valves must be closed temporarily for repair work or construction of the water system. The developer/contractor is responsible for ensuring that the water supply is available at all times. When the work is complete, developer/contractor shall make sure that the fire hydrants are active and the valves are open. IFC Chapter 14.

3. Compliance is required with all provisions and requirements of IBC Chapter 33, Safeguards During Construction, and; IFC Chapter 14 and NFPA 241, Fire Safety During Construction and Demolition.

See the following links for Mesa Fire Code amendments and Fire Department details:

2006 International Fire Code (as adopted)
<https://www.mesaz.gov/home/showdocument?id=552>

Fire Prevention Details
<http://mesa.gov/residents/fire-medical/fire-prevention/fire-details>

PROJECT NARRATIVE

General:

The proposed Kumar Medical Clinic and Ambulatory Surgery Center represents a much-needed use in the east Mesa area. This two-story building will bring specialized Cardio Vascular diagnosis and treatment to many of the residents in the adjacent 55 and older age restricted communities. It is currently planned to include a 5,500 sf Surgery Center with a state of the Art Hybrid Operating Room and 2,500 sf Clinic on the ground floor, with a second level mezzanine used for the storage of medical equipment. Total building area under roof is 12,000 sf.

Site Design:

Located at the SE corner of Baseline and Sossaman Road, the property is an unusual triangular shaped piece of property that appears to be a remnant site left over from the Maricopa Drainage Channel development and has never been developed. The North East/West, and South West corners of the intersection appear to have small commercial uses that are empty. We believe the medical use on this site can be a catalyst for revitalization of this area.

The sites relatively small size, 49,500 sf net, and its unusual shape are the primary drivers of the proposed buildings location and geometry. To allow safe vehicular access into the site we are proposing a new drive on Sossaman Rd. at the south end of the site aligning with the existing drive to the west, and a new driveway on Baseline Rd, positioned as far east as possible. The main building entry is located on the east side, directly off of the parking lot. The buildings positioning screens a parking lot of 40 spaces. Total required parking for this project is 1 space per 200 sf or 40 spaces. 40 spaces are provided.

Landscape will be designed to match the desert plant palette of the area and will be drought tolerant. Site lighting will be designed to be consistent with city requirements for light level.

DESCRIPTION

That portion of Lot 4, Section 5, Township 1 South, Range 7 East of the Lila and Salt River Base and Meridian, Maricopa County, Arizona, lying easterly of the easterly right of way line of Sossaman Road, as described in instrument recorded in docket 14205, page 1527, records of Maricopa County, Arizona and lying Westerly of the Westerly Boundary of the Maricopa Drainage Channel as described in instrument recorded in docket 15142, page 205, records of Maricopa County, Arizona;

Except all oil and gas rights as reserved in instrument recorded in book 304 of deeds, page 118, records of Maricopa County, Arizona;

Except all minerals, coal, carbons, hydrocarbons, oil, gas, chemical elements and compounds whether in solid, liquid, or gaseous form and all steam and other forms of thermal energy on, in, or under the above described land below a depth of 500 feet below the surface as reserved in instrument recorded in 2005-0273196, records of Maricopa County, Arizona.

CITY OF MESA GENERAL NOTES:

(REVISED 08-15-12)

- All work and materials shall conform to current UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS construction as published by the Maricopa association of governments and as amended by the City of Mesa. All work and materials not in conformance with these amended specifications and details are subject to removal and replacement at the contractor's expense.
- The information shown on drawings concerning the type and location of existing underground utilities is approximate and has not been independently verified by the engineer or the engineer's agent. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which may occur by the contractor's failure to exactly locate and preserve any and all underground and overhead utilities.
 - Call 602-263-1100 or 811 for blue stake services.
 - Call Salt River power for pole bracing, electric service or construction scheduling at 602-236-8888.
 - Call City Of Mesa electrical for pole bracing, electrical service or construction scheduling at 480-644-2251 within City of Mesa electrical service territory (downtown Mesa).
 - When excavating in or adjacent to a city park OR AQUATIC FACILITY the contractor shall contact AQUATICS AND parks maintenance at 480-644-3097 to request assistance in locating underground UTILITY facilities.
 - When excavating in or adjacent to landscaping within the right-of-way, the contractor shall contact transportation field operations at 480-644-3038 to request assistance in locating underground irrigation facilities.
- The City of Mesa has adopted the City of Phoenix 2007 traffic barricade manual. Copies are available at 1101 East Jefferson Street, Phoenix, Arizona. Telephone 602-262-6235 or <http://phoenix.gov/streets/traffic/index.html>. City of Mesa has issued a supplement to the Phoenix traffic barricade manual. Copies are available at development services, 55 N. Center St., Mesa, Arizona. Telephone 480-644-2160 or both manuals are available online at: <http://www.mesaz.gov/transportation/barricades.aspx>.
- Contractor to notify traffic operations at 480-644-3126 prior to sign removal and when ready to permanently relocate sign.
- Contractor to obtain any permits required unless otherwise indicated, and coordinate all irrigation dry-ups, relocations, and removals by others.
- Contractor shall protect existing utilities ahead of construction to allow for any necessary adjustments in grade line and to verify pipe materials for ordering the appropriate transition and tie-in fittings that may be required.
- The contractor is responsible to remove all abandoned utilities that interfere with proposed improvements. The City of Mesa utilities department locating section will assist the contractor as needed, in determining if the utility (gas, water, and wastewater only) is abandoned by calling 480-644-4500.
- Prior to start of construction on private property (easements), the contractor shall give the owner sufficient time (minimum 48 hours) to remove any items in conflict with construction. The contractor shall arrange to remove and replace all other conflicts as required.
- The contractor shall coordinate work schedules to prevent any conflicting work conditions with the City of Mesa utility and transportation crews.
- The contractor is advised that a dust control permit and a dust control plan may be required by the Maricopa County Air Quality Department. It shall be the contractor's responsibility to obtain this permit, if necessary, and comply with its requirements. Prior to construction, the contractor shall provide a copy of the dust control permit and dust control plan to the city for review.
- Inspections shall be provided by the City of Mesa. The contractor shall notify the city inspection department at least 48 hours in advance of any construction.
- The job site shall be cleaned of any debris or spoil resulting from this project at the completion of construction.
- All equipment and materials not shown or specified on the plans or specifications, but required to complete this project, shall be supplied by the contractor as part of this contract work (no additional cost to the city).
- Wherever pavement replacement per Mesa std detail m-19.4 or MAG STD Detail 200 is referred to within these plans, backfilling shall be per the City of Mesa street trench backfilling and pavement replacement policy statement, revised September 29, 1999.
- For purposes of pavement per MAG STD detail 200 or mesa std detail m-19.4, intersections are defined by the curb returns in all directions.
- Any survey markers disturbed or damaged by the contractor shall be replaced in kind by a registered land surveyor at no additional cost to the city.
- All existing pavement markings, signs, and signal equipment that are not part of this project but need to be removed, replaced, relocated, or repaired because of contractor's work will be done at the contractor's expense.
- The contractor is advised that damage to any public services or systems as a result of this project shall be repaired by the contractor and inspected by the city inspector. Depending on damages, all repairs shall be done within 24 hours. The contractor is advised that any costs related TO REPAIR or replacement of damaged public services or systems as a result of contractor's negligence shall be borne by the contractor.

PROJECT INFORMATION:

Site Address: 7615 E. Baseline Road, Mesa, AZ 85209
Existing Use: Vacant Lot
Proposed Use: Medical Clinic/ Ambulatory Surgery Center

Zoning

Existing Zoning: Limited Commercial (LC)

Proposed Zoning: Limited Commercial (LC)

Gross Site Acreage: 1.136 Acres - 49,500 sf

Net Site Acreage: 0.9178 Acres - 39,982 sf

Parking

Existing Parking: N/A

Proposed Parking: 1 space - 200 square feet

(building sf) / (200 sf)
(7,910 sf) / (200 sf)=39.55 spaces

Parking Required- 40 parking spaces
Parking Provided- 39 spaces with 2 ADA spaces - 40 total parking spaces
- 8 spaces are to be compact parking spaces

Bicycle Parking: 4 spaces provided

Proposed Building

Program: Medical Clinic/ Ambulatory Surgery Center

Occupancy: B

Construction Type: II-B

Square Footage: 7,910 sf

Building Height: 32' -10 3/4" to top of parapet

Average Building Height: 28-3 1/2'

SITE PLAN GENERAL NOTES:

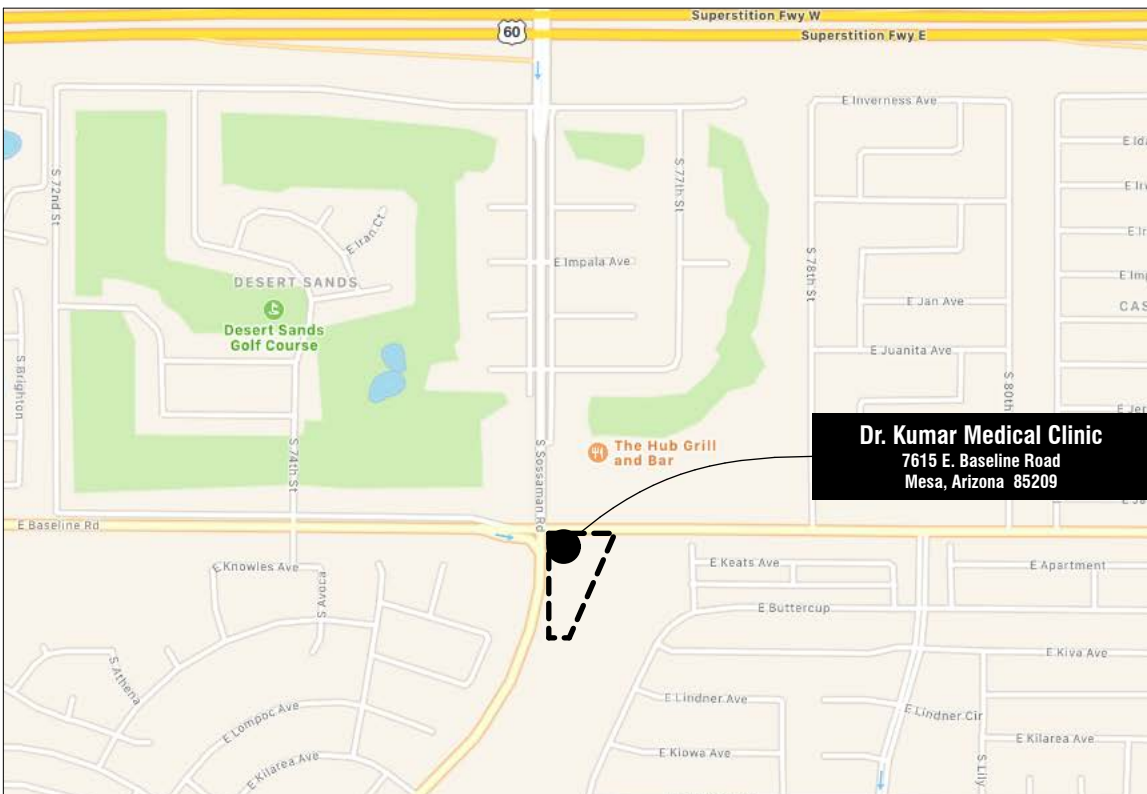
- Contractor shall remove all existing vegetation, site improvements, etc. whether or not specifically indicated on drawings to facilitate the completion of all required new work. Contractor shall visit the site and verify all quantities and items that are required to be removed prior to submittal of his proposal.
- Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
- Finish grade at sidewalks, buildings, etc., as required to provide smooth transition to grade.
- Angles indicated are 45 degrees unless noted otherwise.
- Construction debris shall be removed from the site on a continuing basis for the duration of construction.
- Concrete walks shall have expansion joints at a maximum spacing of 20 feet OC and control joints at 5 feet OC, unless otherwise noted.
- Perform all clearing, grubbing and earthwork in accordance with the Geotechnical report, unless more restrictive requirements exist.
- Should slopes of greater than 1:20 (5%) occur at pavement locations, notify architect immediately.
- All proposed imported fill material shall be tested by a qualified testing agency to verify that it meets all specification requirements, prior to placing on site.
- Dimensions are to outside face of stem walls/foundations unless noted otherwise.
- All areas disturbed by construction, staging, etc. shall be restored to their original condition by the General Contractor. General Contractor is responsible for documenting original condition.
- All sidewalks at building entryways shall be "keyed" into building slab to prevent differential movement.
- Contractor to coordinate trash enclosure unique gate code of 2688 or #2688 with a remote a remote that must be functional to open all gates from either side entry. The is to be coordinated with City of Mesa-Solid Waste Dept.

SITE PLAN KEYNOTES:

- Building entrance
- Building Monument Signage (NIC)
- Generator, see electrical
- SES, see electrical
- SVT-site visibility triangles, 10' x 20' with extension to street curb
- Emergency vehicle access
- Solid waste container, Ref: M-62.02.1, see site plan general note M
- CMU screen wall
- Retention area, see civil
- Landscape berm
- Bike parking - 4 spaces
- New concrete sidewalk
- Existing concrete sidewalk
- New light pole-16 feet high, see electrical
- Right of way improvement
- Patient drop off area
- Street light, see electrical
- Proposed covered parking
- 6' bike lane

SITE PLAN LEGEND

- | | |
|--|--|
| | BROOM FINISH CONCRETE |
| | STABILIZED DECOMPOSED GRANITE |
| | ASPHALT CONCRETE PAVING |
| | ACCESSIBLE ROUTE TO PUBLIC SIDEWALK |
| | PROPERTY LINE |
| | PROPERTY EASEMENT |
| | LANDSCAPE SETBACK |
| | OVERHEAD POWER LINES |
| | FIRE HYDRANT. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. |
| | PAINTED DIRECTIONAL ARROW ON PAVING. |
| | LIGHT POLE / FIXTURES. |



VICINITY MAP

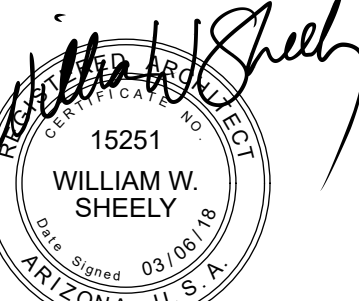
NOT TO SCALE



orcutt|winslow

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 f
602.257.9029 f
www.owp.com



© 2011 the best copy or electronic drawing is an instrument of service and the property of the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and publication thereof is expressly limited to such use, without the design professional's written consent. Publication by any method in whole or part is prohibited without the written permission of the design professional. Any alterations, modifications or additions made to this drawing shall be the user's risk.

Dr. Shantha Kumar
Dr. Kumar Medical
Clinic
7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Rd Suite 5
Apache Junction, AZ
85120

602 69402190 f

skumar1030@yahoo.com

PROJECT NO.

2017_198-01

DATE OF ISSUE

03.06.2018

REVISION NO.

DATE

PROJECT TEAM

Healthcare

DRAWN BY

AB

PROJECT PHASE

Design Review

SHEET CONTENTS

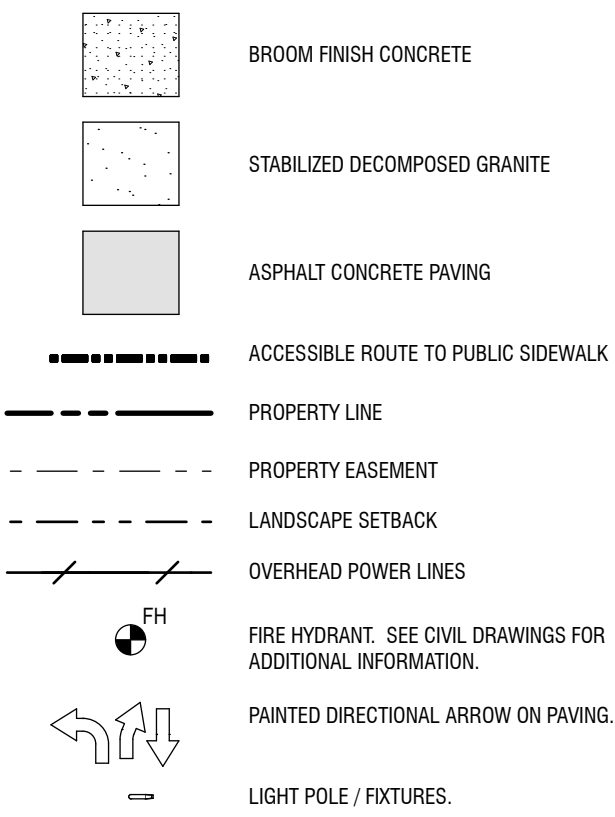
design review-site plan

SHEET NO.

A2

Orcutt|Winslow Project 2017_198-01 Dr. Kumar Medical Clinic, Conceptual Design Sheet A3 design review-landscape plan was plotted by Alex Baeltner on Tuesday, March 6, 2018 at 5:11 PM. File found at BIM Server: HC Bimserver - BIM Server 2/Health Care Studio/17_198-01_Dr. Kumar MOB

SITE PLAN LEGEND



PLANT LEGEND

SYMBOL	SPECIES	COMMON NAME	CALIPER	SIZE / QUANTITY
	PARKINSONIA HYBRID 'DESERT MUSEUM'	PALO VERDE 'DESERT MUSEUM'	1.5"	24" BOX / 5
	ULMUS PARVIFOLIA	CHINESE ELM	2"	36" BOX / 5
	OLNEYA TESOTA	IRONWOOD	2"	36" BOX / 2
	PROSOPIS SEEDLESS HYBRID 'AZT'	SEEDLESS HYBRID MESQUITE	1"	24" BOX / 14
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	-	5 GAL / 31
	DODONAEA VISCOSA	HOP BUSH	-	5 GAL / 4
	HESPERALOE FUNIFERA	GIANT HESPERALOE	-	5 GAL / 52
	CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	-	5 GAL / 6
	AGAVE AMERICANA	CENTURY PLANT	-	15 GAL / 6
	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	-	5 GAL / 27
	HESPERALOE PARVIFLORA	RED YUCCA	-	5 GAL / 46

CITY OF MESA GENERAL LANDSCAPE NOTES:

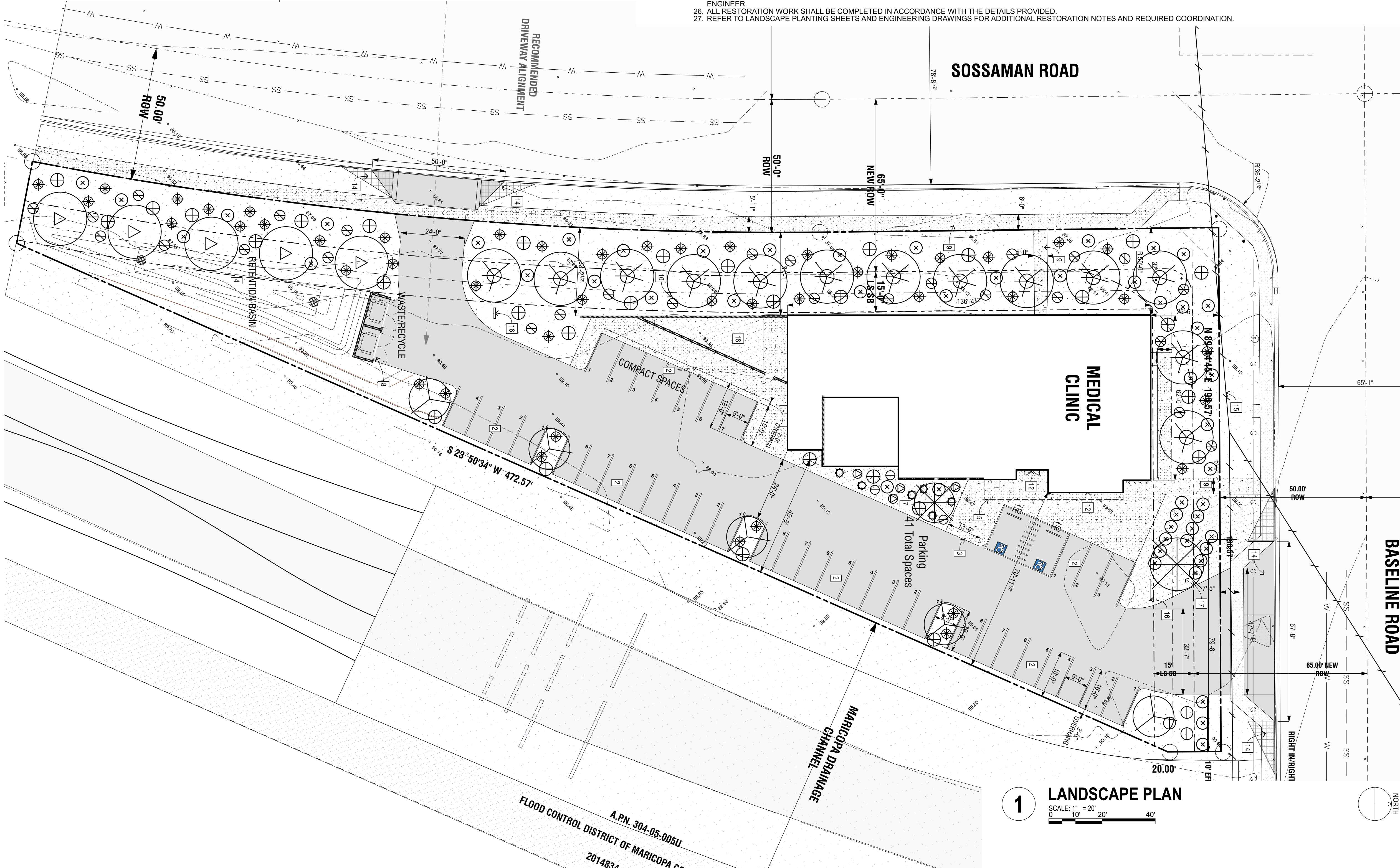
- Landscape contractor shall confirm location of all underground utilities prior to any excavation and shall be responsible for the following:
 - Damages to such utilities caused as a result of the contractor's activities.
 - Damages to existing walks, walls, drives, curbs, etc.
 - Inspecting the site in order to be fully aware of existing conditions prior to submitting a bid.
- Installation of landscape and irrigation materials shall comply with sections 424, 425, 757, and 795 of the MAG standard specifications as amended by the City of Mesa in the current edition of the Mesa Engineering Procedures Manual, Landscape & Irrigation Standards.
- Contractor shall repair any damage made to the existing sprinkler system to the satisfaction of the city at no additional cost to the city.
- Landscape removal is a non-pay item unless otherwise noted.
- All existing vegetation, weeds, debris, etc. Shall be removed from project area and disposed of properly off the site at the contractor's expense (scarify existing subgrade, minimum six (6) inches depth).
- Damage to turf shall be repaired by contractor, i.e., ruts filled with clean soil, compacted to match surrounding grades, excess soil, rock, etc. shall be removed to leave the site clean.
- All plant material, other than trees, shall conform to grading, type, etc. as set forth in the American Standard for Nursery Stock by the American Association of Nurserymen. All trees shall conform to the current Arizona Nursery Association Tree Specifications and MAG spec 795.7. Should any conflicts in the specifications occur, the Arizona Nursery Association's specifications shall prevail.
- City reserves the right to inspect shrubs and containered trees for condition of root balls. For any such inspections which may destroy rootball, contractor shall supply additional plant at no cost to city.
- Plant pits shall be inspected by city prior to planting by the contractor by requesting an inspection 48 hours in advance.
- Rough and fine grading to establish uniform smooth grade is included in this project.
- Soil test for fertility and additive recommendations (for turf and ornamentals) shall be completed by contractor to determine if additives are required. Contractor shall provide copy of soil test results for review and approval to engineering inspector at least seven (7) days prior to anticipated planting. After approval by the city, the contractor shall provide and incorporate any additives required prior to or at time of planting.
- Plant pit soil mixture shall consist of four and one-half parts natural fertile, friable soil and one part humus by volume, thoroughly mixed prior to backfilling in pits. Backfilling shall be in 6" lifts with each lift water settled without puddling.
- Contractor shall stake tree and shrub locations for 5-gallon plants and larger. Stakes shall be marked with plant name or plant legend item number from plans.
- All existing (gas, electric, water, etc.) covers and boxes shall remain uncovered. Contractor to adjust to final grade as necessary. Npi unless otherwise noted.
- The contractor shall install water meter provided by the City of Mesa. The contractor shall provide all materials including all appurtenances and labor necessary to install the complete automatic sprinkler system from the meter (water usage charges shall be paid by contractor until project final acceptance by City of Mesa). Contractor shall order meter from development services.
- The contractor shall be responsible for locating the underground sprinkler systems in advance of construction. The sprinkler system locations noted on plans are for reference only.
- Contractor to verify depth of all inlet structures and sprinkler systems prior to trenching for low-flow channel.
- Contractor to provide pumping within five (5) days after the notice to proceed is given as required to dry the area sufficiently to begin construction.
- Contractor shall arrange for sprinkler system shutdown during construction by contacting the engineering inspector.
- No rocks larger than 1" in diameter shall be allowed in the top six (6) inches of topsoil where turf establishment is specified. Rock removal as necessary is included in this project (npi).
- Where caliche is encountered in plant pits, depth and width of pit shall be increased by one-third (1/3) over specification, and a liquid penetrator, "al-kaliche" or equal, shall be incorporated for each pit per manufacturer's recommendations.
- Project record drawings for irrigation system:
 - Maintain on site and separate from documents used for construction, one complete set of contract documents as project record documents. Keep documents current. Do not permanently cover work until as-built information is recorded.
 - Record pipe and wiring network alterations. Record work which is installed differently than shown on the construction drawings. Record accurate reference dimensions, measured from at least two permanent reference points, of each irrigation system valve, each backflow prevention device, each controller or controller unit, each sleeve end, each stub-out for future pipe or wiring connections, and other irrigation components enclosed within a valve box.
- For parks and retention basins: Contractor shall install decomposed granite to a rolled depth of two (2) inches. Decomposed granite to be 1/2" minus with the color as specified on the plans. Pre-emergent herbicide shall be applied before and after placement of decomposed granite per the manufacturer's recommendations. Pre-emergent herbicide shall be surfan, dacthal, or approved equal. Not more than 8% of decomposed granite shall pass through a #200 mesh screen, 15% through a #40 mesh screen, 98% through a #4 mesh screen, and 100% shall pass through a 1/2" mesh screen. Sample to be provided for city review and approval.
- For street landscape projects: Contractor shall install decomposed granite as follows:
 - Decomposed granite ground cover shall be 1/2" size screened and washed.
 - Place and roll to two (2) inch total depth over 85% compacted subgrade.
 - Pre-emergent herbicide surfan, dacthal, or approved equal shall be applied before and after granite placement.
- DECOMPOSED GRANITE SAMPLE SHALL BE PROVIDED IN A RIGID PLASTIC CONTAINER FOR CITY REVIEW AND APPROVAL.
- RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS, COMPONENTS AND LANDSCAPE AREAS IMPACTED BY ANY WORK UNDER THIS CONTRACT. RESTORE ALL EXISTING IRRIGATION AND LANDSCAPE IN ACCORDANCE WITH THE LANDSCAPE RESTORATION NOTES INDICATED WITHIN THESE DOCUMENTS. AT A MINIMUM, ALL RESTORATION SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATION 107.9 - PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE. ALL RESTORATION WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF MESA ENGINEER.
- ALL RESTORATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE DETAILS PROVIDED.
- REFER TO LANDSCAPE PLANTING SHEETS AND ENGINEERING DRAWINGS FOR ADDITIONAL RESTORATION NOTES AND REQUIRED COORDINATION.

LANDSCAPE PLAN GENERAL NOTES:

- Contractor shall remove all existing vegetation, site improvements, etc. whether or not specifically indicated on the drawings to facilitate the completion of all required new work. Contractor shall visit the site and verify all quantities and items that are required to be removed prior to submittal of his proposal.
- Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
- Finish grade at sidewalks, buildings, etc., as required to provide smooth transition to grade.
- Angles indicated are 45 degrees unless noted otherwise.
- Construction debris shall be removed from the site on a continuing basis for the duration of construction.
- Concrete walks shall have expansion joints at a maximum spacing of 20 feet OC and control joints at 5 feet OC, unless otherwise noted.
- Perform all clearing, grubbing and earthwork in accordance with the Geotechnical report, unless more restrictive requirements exist.
- Should slopes of greater than 1:20 (5%) occur at pavement locations, notify architect immediately.
- All proposed imported fill material shall be tested by a qualified testing agency to verify that it meets all specification requirements, prior to placing on site.
- Dimensions are to outside face of stem walls/foundations unless noted otherwise.
- All areas disturbed by construction, staging, etc. shall be restored to their original condition by the General Contractor. General Contractor is responsible for documenting original condition.
- All sidewalks at building entryways shall be "keyed" into building slab to prevent differential movement.
- No plant substitutions, type, size, or quantity deviations from the landscape or irrigation plans without prior approval.

LANDSCAPE PLAN KEYNOTES:

- Loading zone
- Parking
- Drop off area
- Retention basin
- Shade canopy
- Right of way improvement
- Native landscape area / pollinator garden
- Trash enclosure, Ref: M 62.02.1
- Concrete sidewalk
- Landscape berm
- Parking shade trees
- Building entrance
- Receiving ramps in sidewalk
- Sight visibility triangles, 10' x 20' with extension to street curb
- Overhead power lines
- Monument Signage (NIC)
- Entry feature
- Generator Yard



Dr. Shantha Kumar Dr. Kumar Medical Clinic

7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Dr Suite 5
Apache Junction, AZ
85120

602 694021901
skumar1030@yahoo.com

PROJECT NO. 2017_198-01
DATE OF ISSUE 03.06.2018

REVISION NO. DATE

PROJECT TEAM Healthcare
DRAWN BY AB

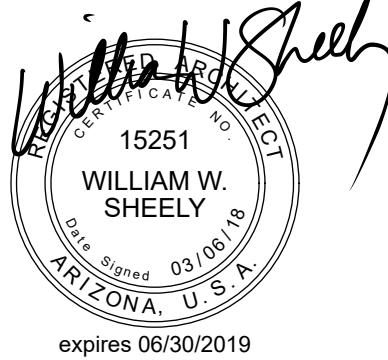
PROJECT PHASE Design Review

SHEET CONTENTS design review-landscape plan

SHEET NO.

A3

© 2017 this first copy (or electronic) drawing is an instrument of service and the property of the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and performance based in response to the specific project or reproduction. Unless otherwise agreed in writing, design professional assumes all copyright or other proprietary interest in this drawing, and it shall not be loaned to any other person without the design professional's written consent. Publication by any method in whole or part is prohibited without the written permission of the design professional. Any alterations obtained or conclusions derived from this drawing shall be at the user's sole risk.

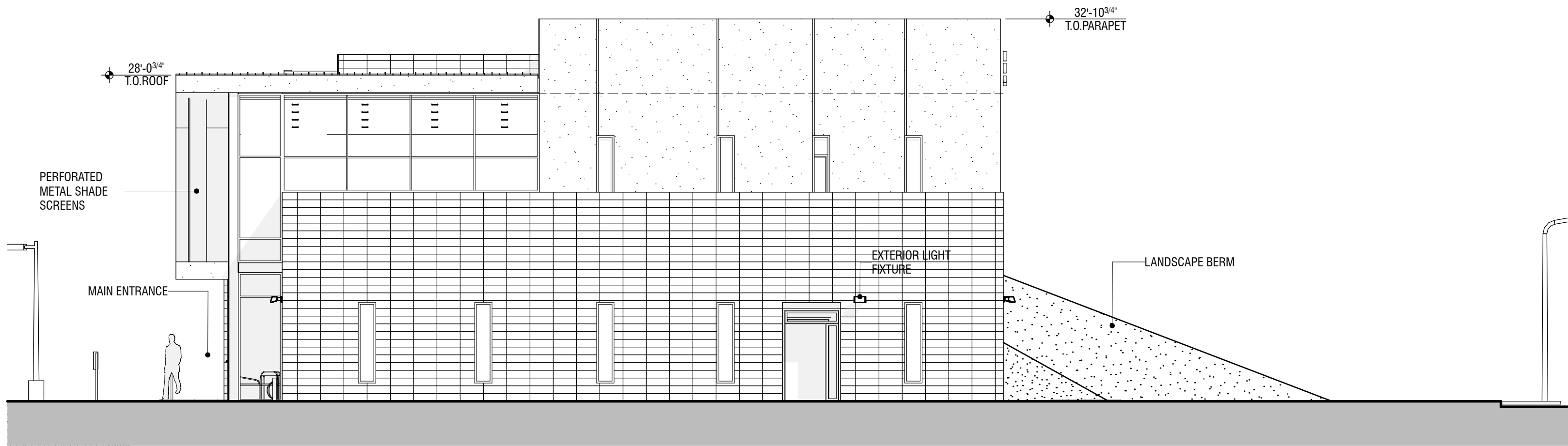


2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

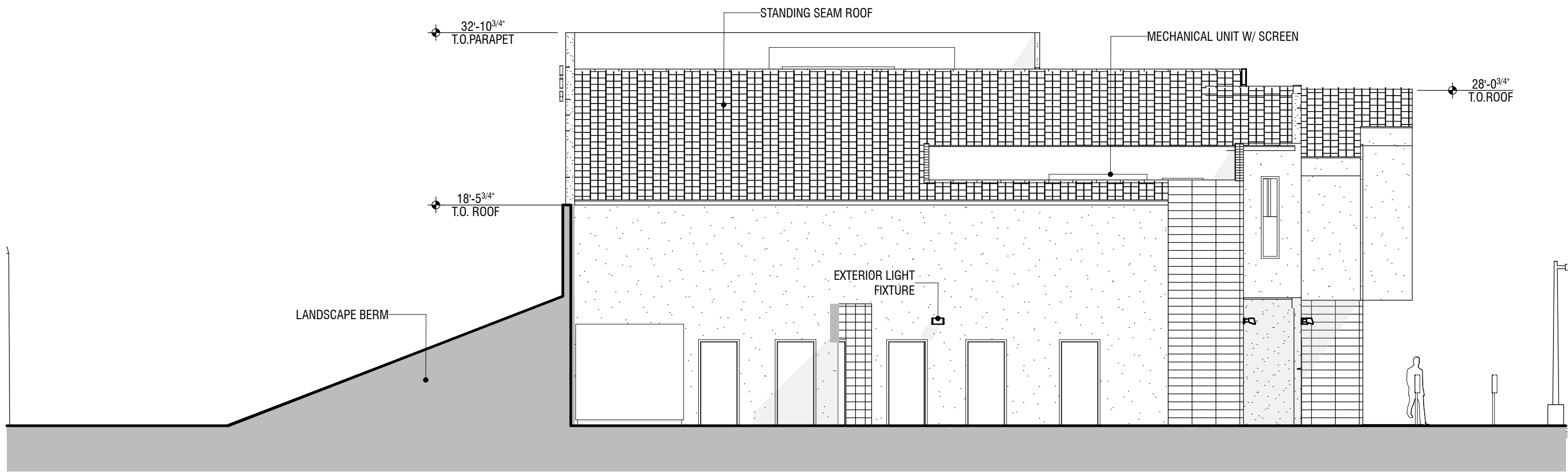
www.owp.com

Orcutt|Winslow Project 2017_198-01 Dr. Kumar Medical Clinic, Conceptual Design Sheet A4 design review-exterior elevations was plotted by Alex Buettner on Tuesday, March 6, 2018 at 5:11 PM. File found at BIM Server: HC Bimserver - BIM Server 2/Health Care Studio/17_198-01_Dr. Kumar MOB



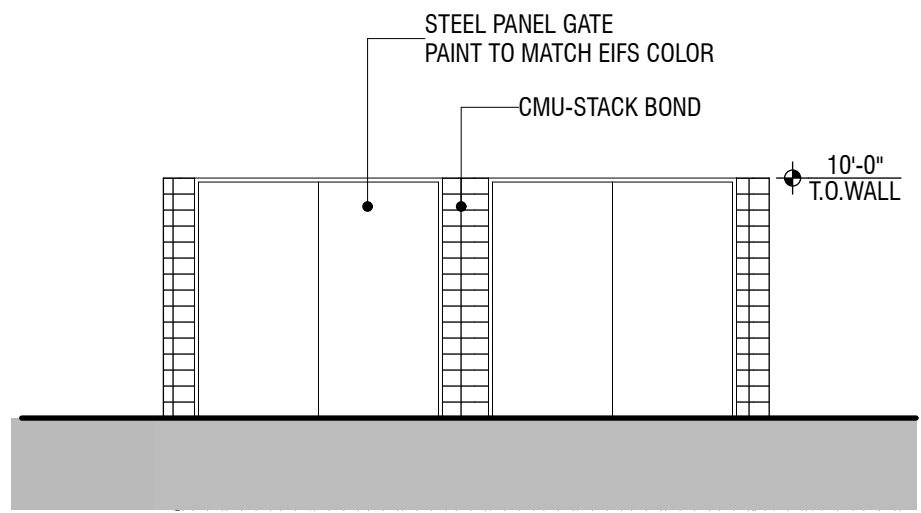
NORTH ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'



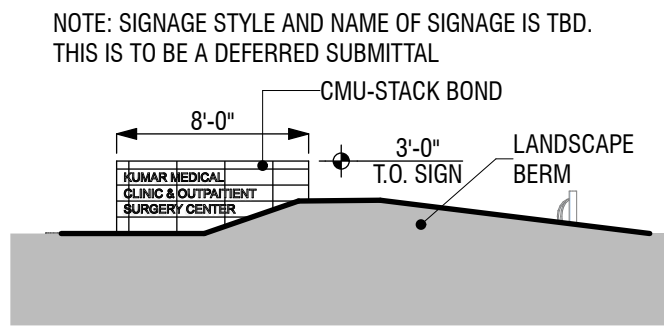
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'



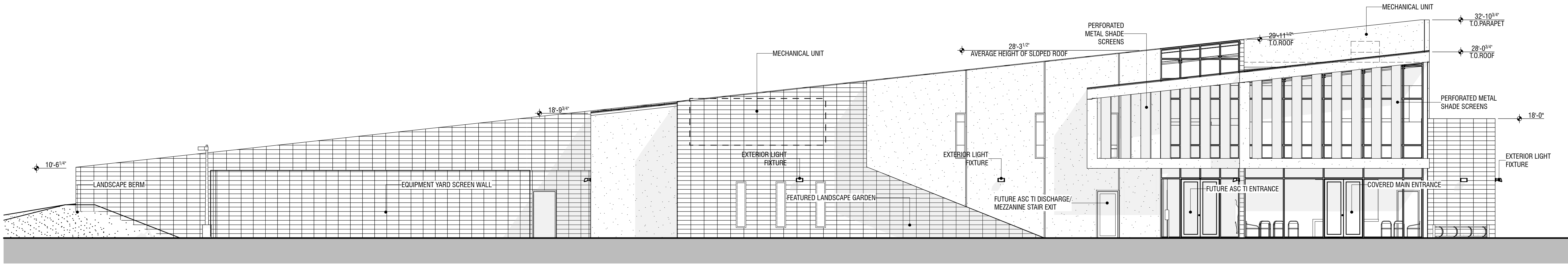
REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"
0 4 8 16'



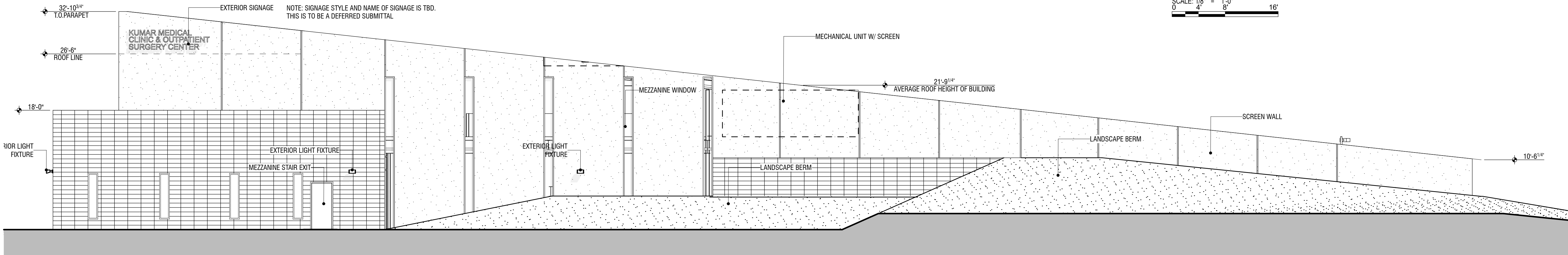
MONUMENT SIGN ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'



EAST ELEVATION

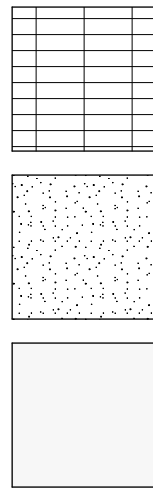
SCALE: 1/8" = 1'-0"
0 4 8 16'



WEST ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'

SECTION / ELEVATION LEGEND



CMU STACK BOND, COLOR: BLACK CANYON
FINISH: MESA STONE SAND BLASTED

EIFS, COLOR: SW 6252 | ICE CUBE
FINISH: SMOOTH

GLAZING: CLEAR ANODIZED ALUMINUM FRAME W/
TRANSPARENT GLAZING

ELEVATION GENERAL NOTES:

- All exposed stem walls shall be of masonry type indicated for walls above floor line.
- Sidewalks at building and structures shall match finish floor flush at doorways and slope away from building.
- Paint all exposed metal that is not specified to receive factory finish.
- All exposed flashing shall be factory finished.
- See Plans and Schedule for door and window types and sizes.

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com

15251
WILLIAM W
SHEELY
ARIZONA, U.S.A.
expires 06/30/2019

© 2017 this first copy or electronic drawing is an instrument of service and the property of the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and publication thereof is expressly limited to such use, without reproduction. Unless otherwise agreed in writing, design professional assumes all copyright or other proprietary interest in this drawing, and it shall not be re-used for any other purpose without the design professional's written consent. Publication by any method in whole or part is prohibited without the written permission of the design professional. Any information obtained or conclusions derived from this drawing shall be at the user's sole risk.

Dr. Shantha Kumar
Dr. Kumar Medical Clinic
7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Dr Suite 5
Apache Junction, AZ
85120

602 69402190 t
skumar1030@yahoo.com

PROJECT NO. 2017_198-01
DATE OF ISSUE 03.06.2018

REVISION NO. DATE

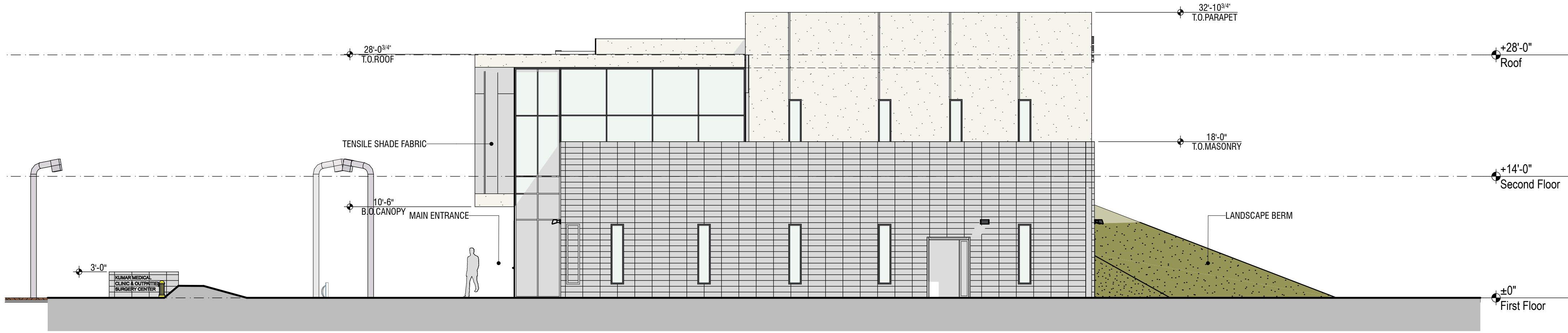
PROJECT TEAM Healthcare
DRAWN BY AB

PROJECT PHASE Design Review

SHEET CONTENTS
design review-exterior elevations

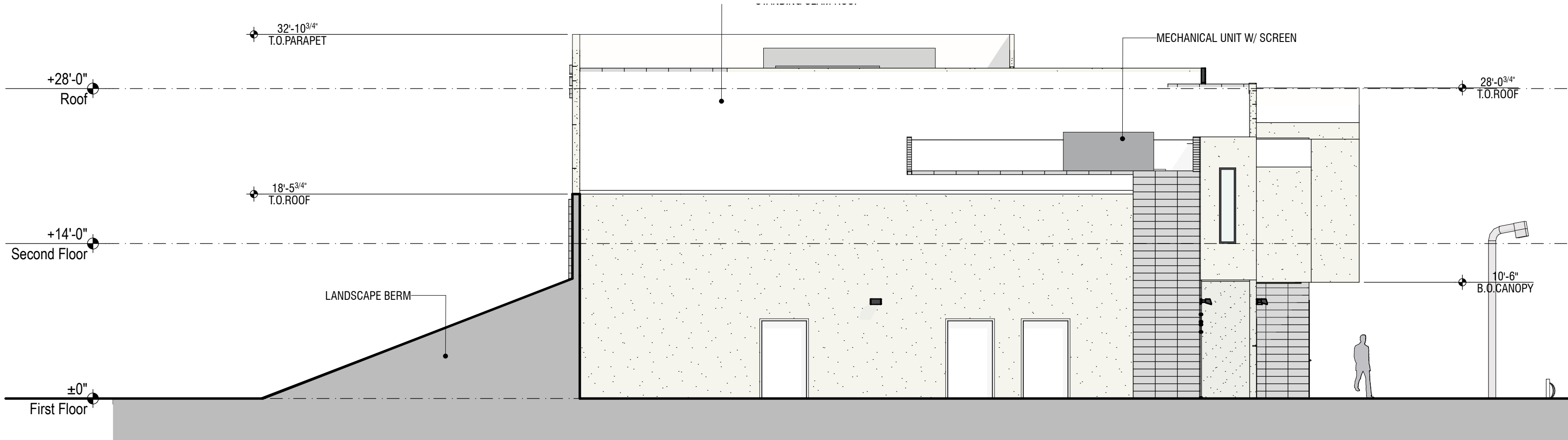
SHEET NO.

A4



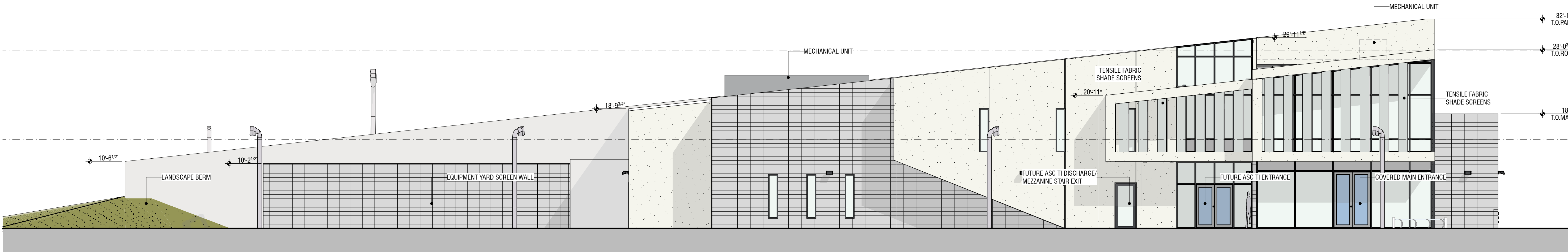
NORTH ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'



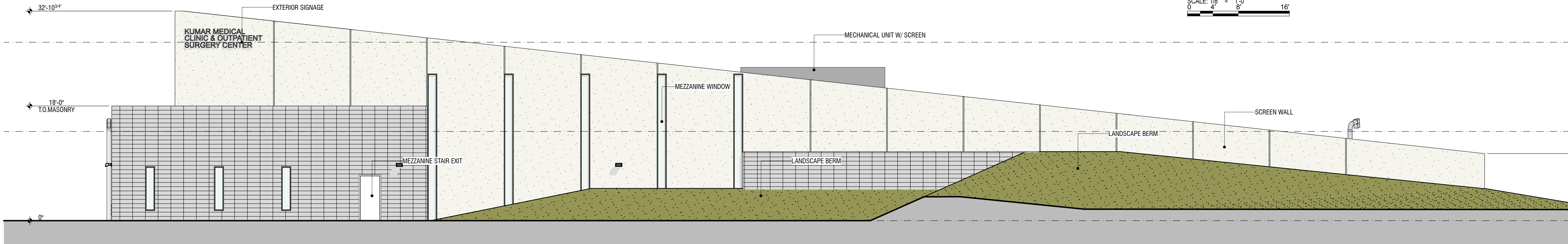
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'



EAST ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'



WEST ELEVATION

SCALE: 1/8" = 1'-0"
0 4 8 16'

ELEVATION GENERAL NOTES:

- All exposed stem walls shall be of masonry type indicated for walls above floor line.
- Sidewalks at building and structures shall match finish floor flush at doorways and slope away from building.
- Paint all exposed metal that is not specified to receive factory finish.
- All exposed flashing shall be factory finished.
- See Plans and Schedule for door and window types and sizes.

ELEVATION LEGEND-COLOR

- CMU STACK BOND, COLOR: FINISH: SAND BLASTED
- EIFS, COLOR: SW 7004 | SNOWBOUND FINISH: SMOOTH
- GLAZING: CLEAR ANODIZED ALUMINUM FRAME W/ TRANSPARENT GLAZING

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com

15251
WILLIAM W SHEELY
ARCHITECT
ARIZONA, U.S.A.
expires 06/30/19

© 2017 this best copy or electronic drawing is an instrument of service and the property of the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and publication thereof is expressly limited to such use, except as reproduction. Unless otherwise agreed in writing, design professional assumes all copyright or other proprietary interest in this drawing, and it shall not be re-used for any other purpose without the design professional's written consent. Publication by any method in whole or part is prohibited without the written permission of the design professional. Any information obtained or conclusions derived from this drawing shall be at the user's sole risk.

Dr. Shantha Kumar
Dr. Kumar Medical
Clinic

7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Dr Suite 5
Apache Junction, AZ
85120

602 69402190 t
skumar1030@yahoo.com

PROJECT NO.
2017_198-01

DATE OF ISSUE
01.26.2018

REVISION NO.
DATE

PROJECT TEAM
Healthcare

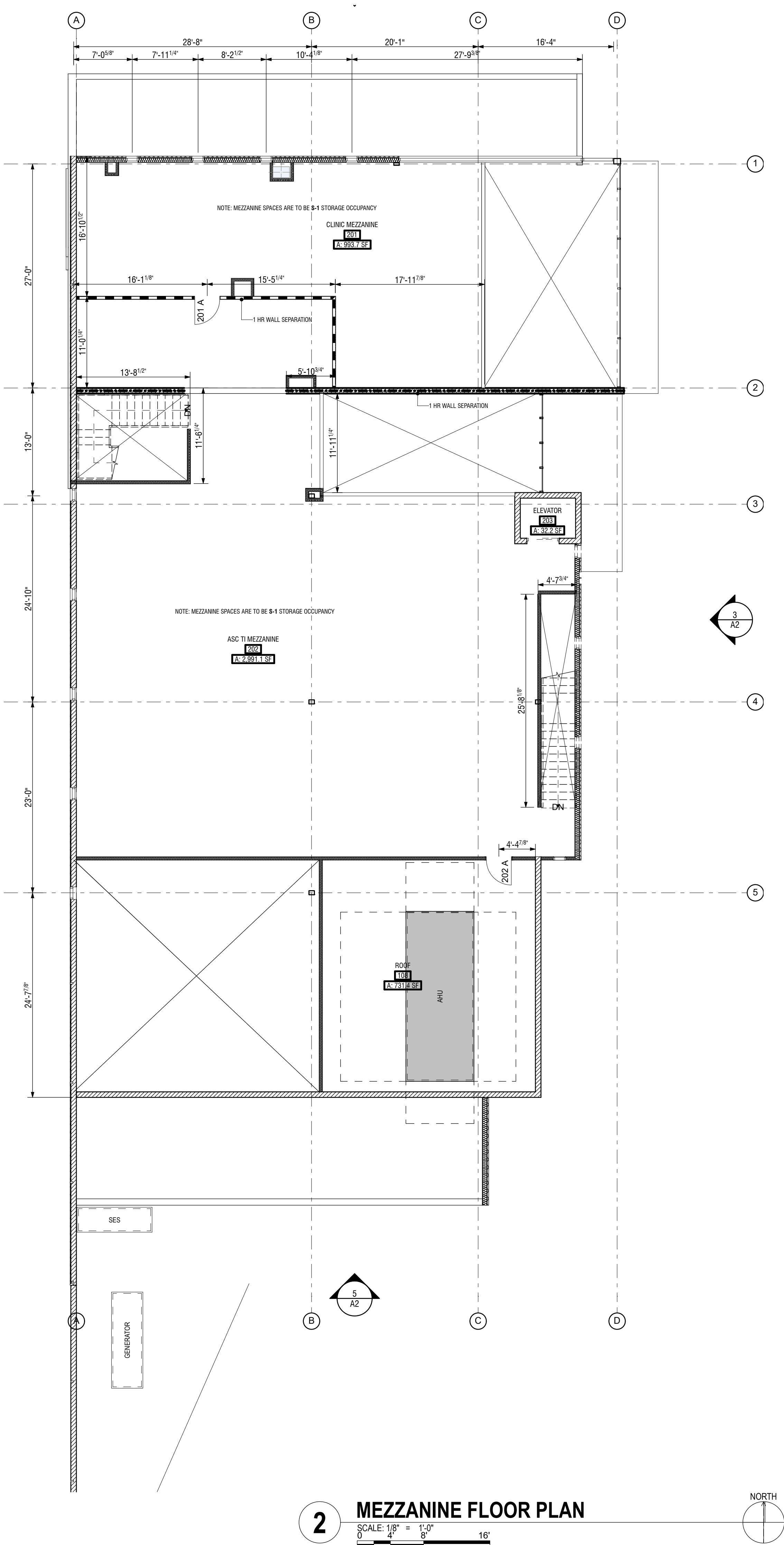
DRAWN BY
AB

PROJECT PHASE
Design Review

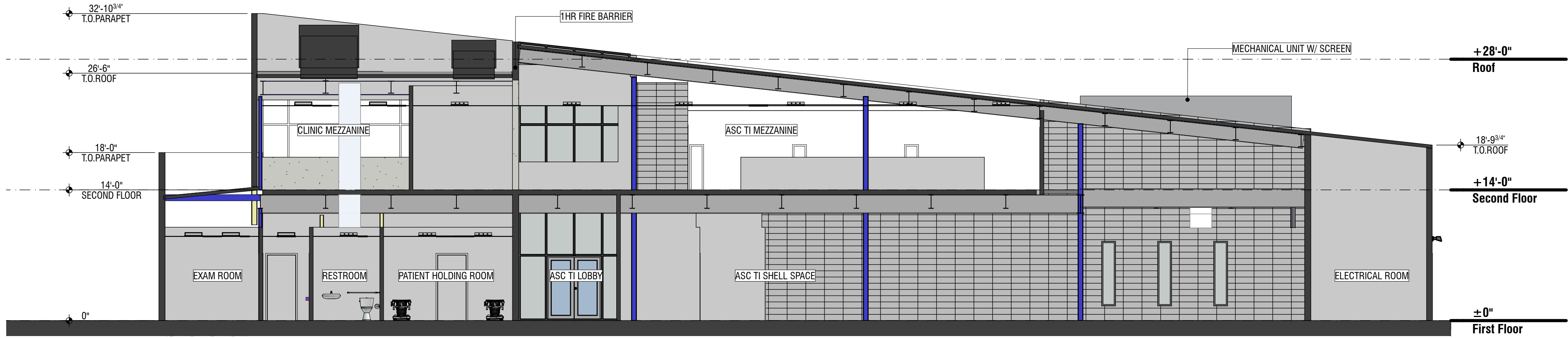
SHEET CONTENTS
design review-exterior
elevations-color

SHEET NO.

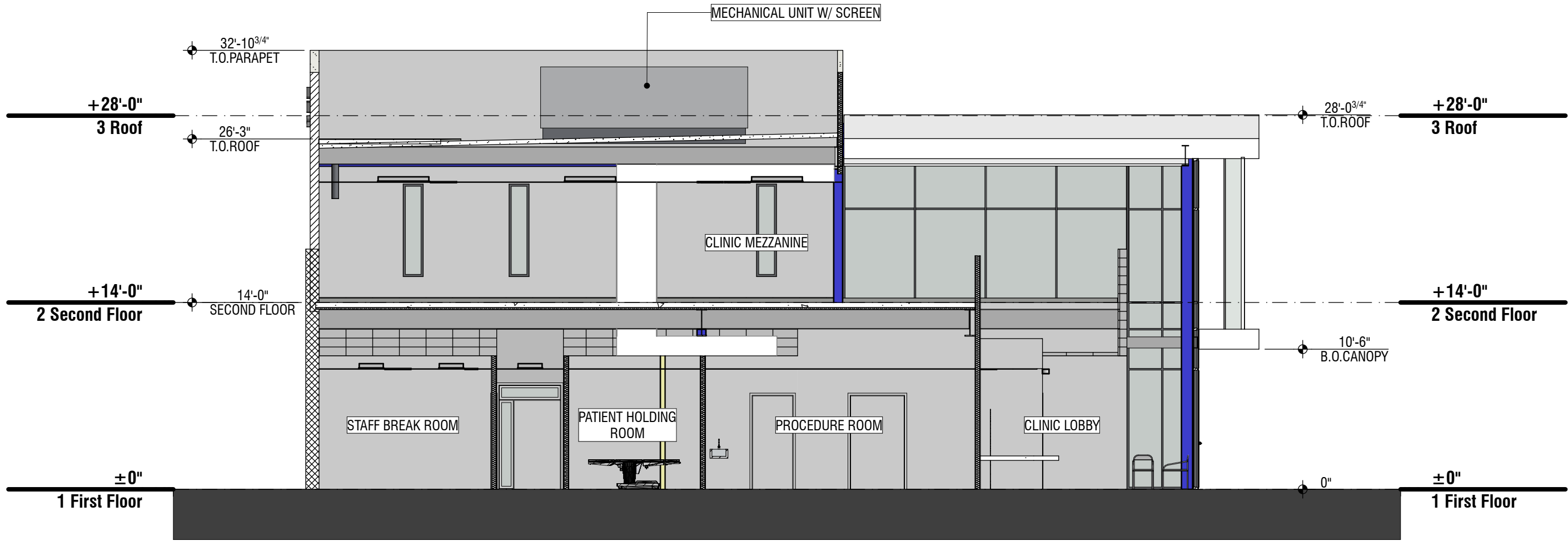
A5



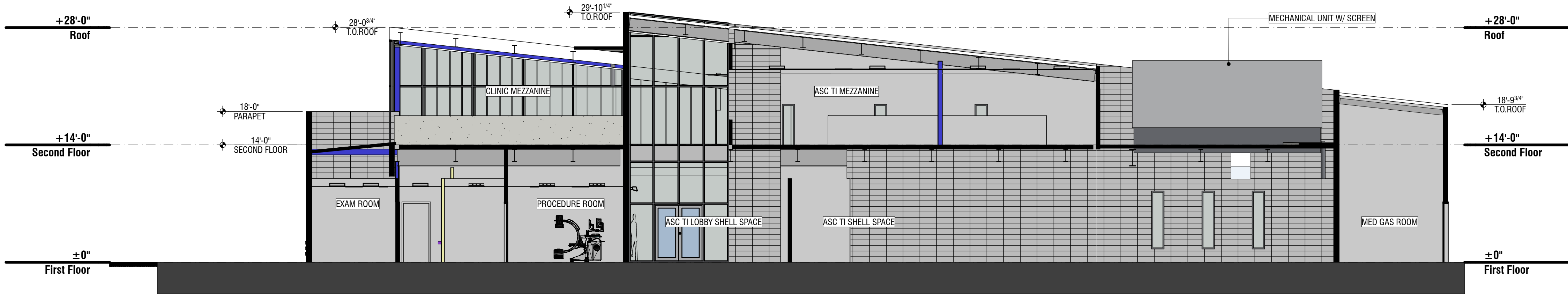
Orcutt|Winslow Project 2017_198-01 Dr. Kumar Medical Clinic, Conceptual Design Sheet A7 design review-building sections was plotted by Alex Buettner on Monday, January 29, 2018 at 11:26 AM; file found at BIM Server: HC Bimserver - BIM Server 21/Health Care Studio/17_198-01_Dr. Kumar MOB



1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



2 BUILDING SECTION 2
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



3 BUILDING SECTION 3
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

SECTION GENERAL NOTES:

- A. Suspended materials shall be attached to structure with tested connectors for tension or shear condition at frequency to support load applied.
- B. Insulation shall be continuous at the roof plane and shall lap wall insulation.
- C. Route all plumbing, fire sprinkler, mechanical, electrical, fire alarm, piping, and conduit in concealed or furred area only. Exposed piping and conduit shall not be allowed in any area except at electrical and fire riser rooms.

SECTION / ELEVATION LEGEND

- CMU STACK BOND, COLOR:
FINISH: SAND BLASTED
- EFS, COLOR: SW 7004 | SNOWBOUND
FINISH: SMOOTH
- GLAZING: CLEAR ANODIZED ALUMINUM FRAME W/
TRANSPARENT GLAZING

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com

15251
WILLIAM W SHEELY
ARIZONA, U.S.A.
exp. 06/30/19

© 2017 this first copy or electronic drawing is an instrument of service and the property of the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and publication thereof is expressly limited to such use, reuse or reproduction. Unless otherwise agreed in writing, design professional assumes all copyright or other proprietary interest in this drawing, and it shall not be re-used for any other purpose without the design professional's written consent. Publication by any method in whole or part is prohibited without the written permission of the design professional. Any information obtained or conclusions derived from this drawing shall be at the user's sole risk.

Dr. Shantha Kumar
Dr. Kumar Medical Clinic
7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Dr Suite 5
Apache Junction, AZ
85120

602 69402190 t
skumar1030@yahoo.com

PROJECT NO. **2017_198-01** DATE OF ISSUE **01.26.2018**

REVISION NO. DATE

PROJECT TEAM **Healthcare** DRAWN BY **AB**

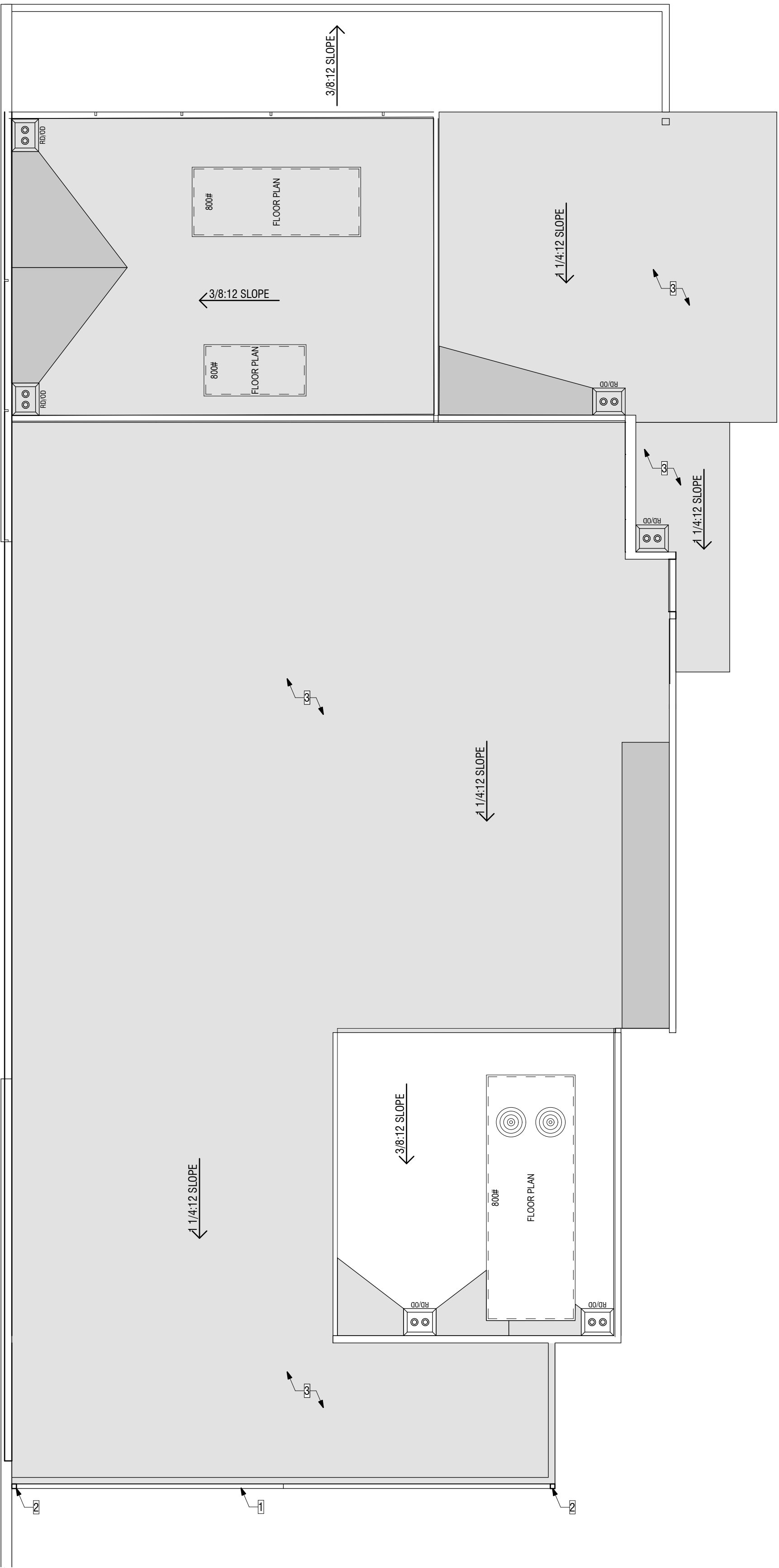
PROJECT PHASE **Design Review**

SHEET CONTENTS

design review-building sections

SHEET NO.

A7



2 ROOF PLAN
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

ROOF PLAN GENERAL NOTES:

- A. Do not begin work without holding a pre-roofing conference. Notify Architect, Roofing Supplier, Manufacturer, Installer, Sheet Metal Subcontractor and other related subcontractors a minimum of 7 days before commencing roofing work.
- B. Roofing Supplier, Manufacturer and Installer shall review all roofing details and advise Architect on any recommended changes. Unless notified otherwise, details will be assumed to have been reviewed and approved by all parties.
- C. Provide crickets behind all mechanical equip. curbs, roof hatch curbs, etc.
- D. Minimum slope at all cricket valleys shall be 1/4" per foot. Do not scale plan for cricket dimensions.
- E. All cricket slopes shall be achieved in a manner acceptable to Architect and in accordance with roofing manufacturer's requirements.
- F. Provide curbs and flashing at any equipment not provided with pre-manufactured curbs.
- G. Separate all dissimilar metals with bituminous coatings or other methods acceptable to the Architect.
- H. Flashing details shall be in strict compliance with approved Roofing Manufacturer's standards for application, and shall be fabricated in accordance with the latest edition of "Sheet Metal and Air Conditioning Contractor's National Association" (SMACNA) technical manual.
- I. All sheet metal scuppers, sleeves, etc., penetrating roofing or parapets to which roofing must attach shall be a minimum of 20 gauge, all soldered construction, with minimum 3" wide flanges.
- J. All scuppers shall be constructed with four full sides, with flanges through the thickness of the wall, forming a complete "sleeve" through the wall.
- K. Provide flashing per Roofing Manufacturer's standard details at all electrical conduit, HVAC lines, plumbing vents, etc.
- L. Flashing shall be factory finished where indicated. Galvanized unfinished flashing exposed to view shall be washed, primed, and finished with paint per the Specifications.
- M. Provide concrete splash blocks below all scuppers and at all drain leaders that daylight above grade or onto other roof surfaces.
- N. Contractor and all sub-trades shall exercise the necessary care to limit traffic and prevent damage to the roof membrane.
- O. Where existing roofing is modified, engage qualified installers of the roofing systems to maintain roof warranties. It is the Contractor's responsibility to verify types and manufacturers of existing roofing systems.

ROOF PLAN KEYNOTES:

- 1. Aluminum Gutter, see plumbing for size
- 2. Aluminum Downspout
- 3. Standing seam metal roof

ROOF PLAN LEGEND

- LOW-SLOPE ROOF SURFACE: STANDING SEAM METAL ROOF ON METAL DECK
- ROOF SLOPE AND DIRECTION INDICATOR
- CRICKETS FORMED BY STANDING SEAM METAL ROOF
- ROOF DRAIN (RD) AND/OR OVERFLOW DRAIN (OD) IN SUMP PAN - SEE PLUMBING DRAWINGS FOR LEADER

orcutt|winslow

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com

15251
WILLIAM W. SHEELY
P.E.
ARIZONA U.S.A.
expires 06/30/19

© 2011 the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and publication thereof is expressly limited to such use, reuse or reproduction. Unless otherwise agreed in writing, design professional assumes all copyright or other proprietary interest in this drawing, and it shall not be re-used for any other purpose without the design professional's written consent. Publication by any method in whole or part is prohibited without the written permission of the design professional. Any information obtained or conclusions derived from this drawing shall be at the user's sole risk.

Dr. Shantha Kumar
Dr. Kumar Medical Clinic

7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT		
Dr. Shantha Kumar 99 S Gold Dr Suite 5 Apache Junction, AZ 85120		602 69402190 t skumar1030@yahoo.com
PROJECT NO.	DATE OF ISSUE	
2017_198-01	01.26.2018	
REVISION NO.	DATE	

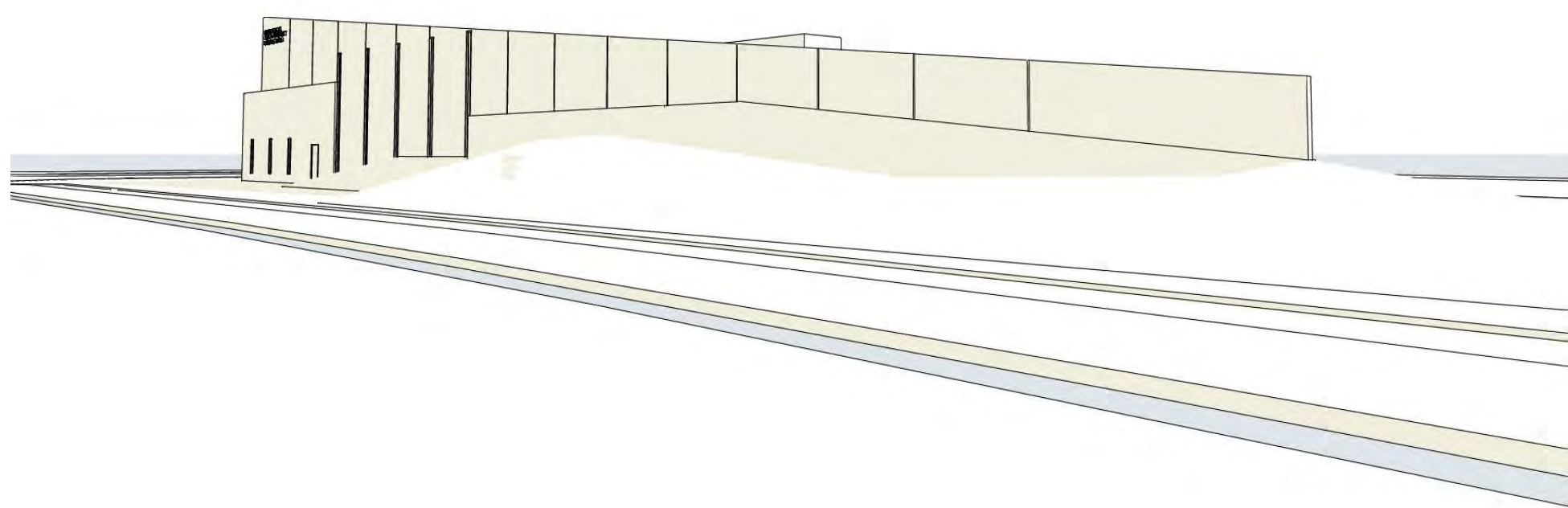
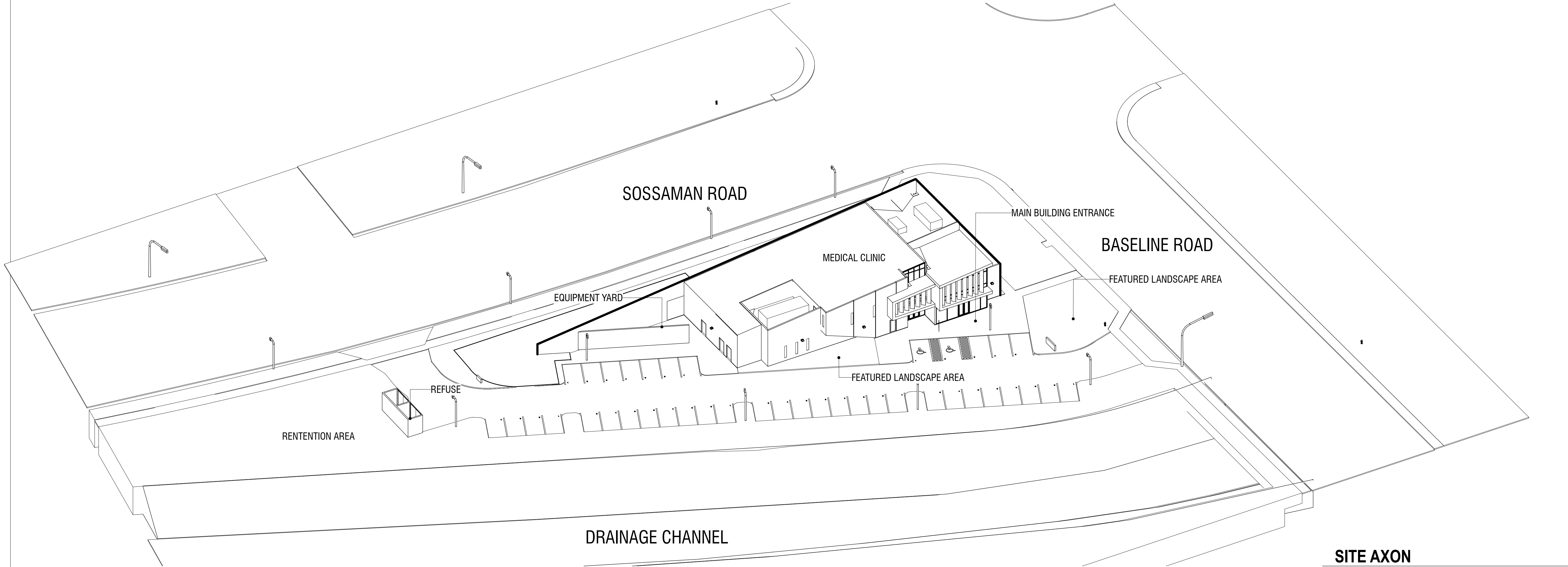
PROJECT TEAM	DRAWN BY
Healthcare	AB

PROJECT PHASE
Design Review

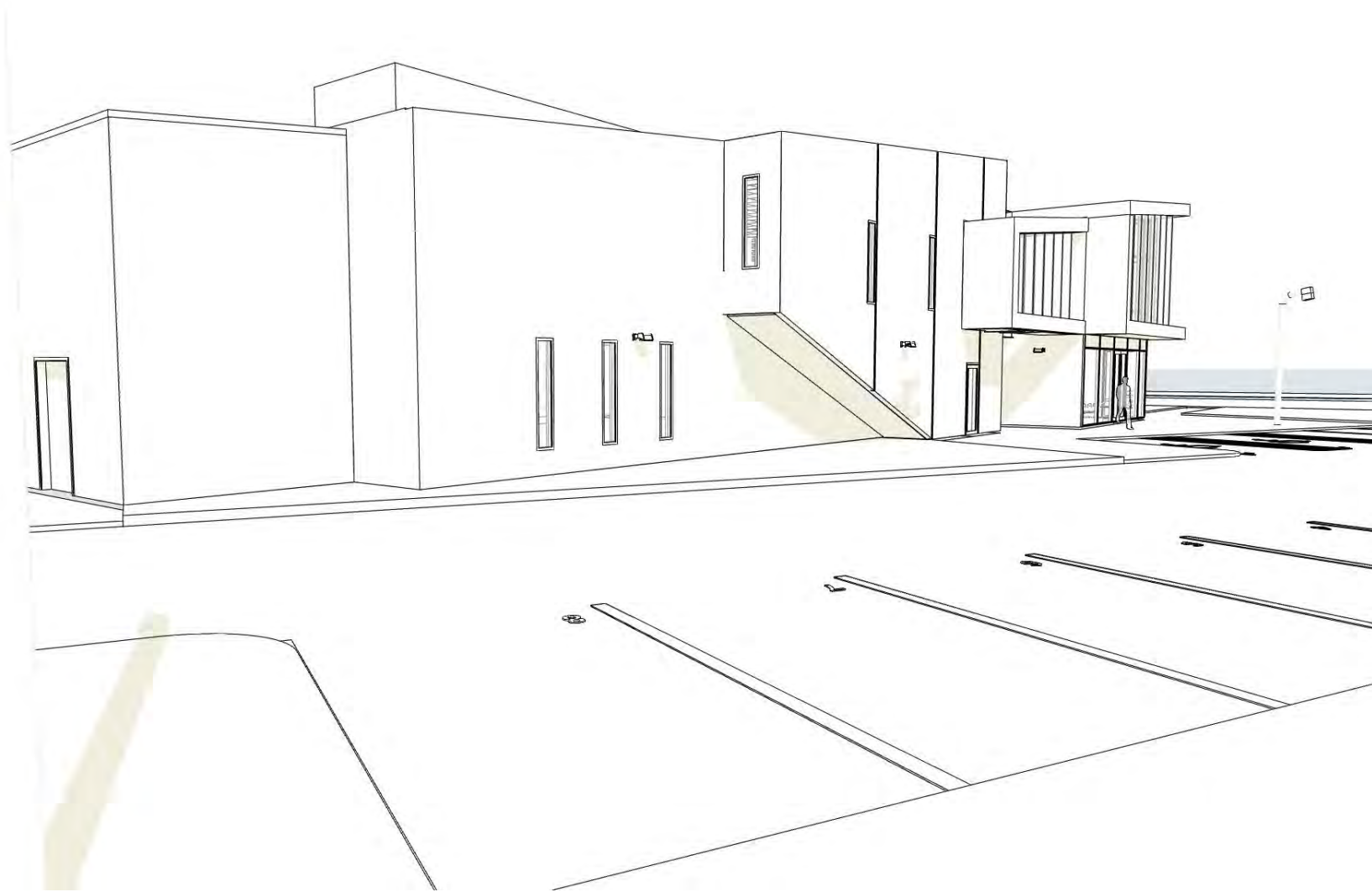
SHEET CONTENTS
design review-roof plan

SHEET NO.
A8

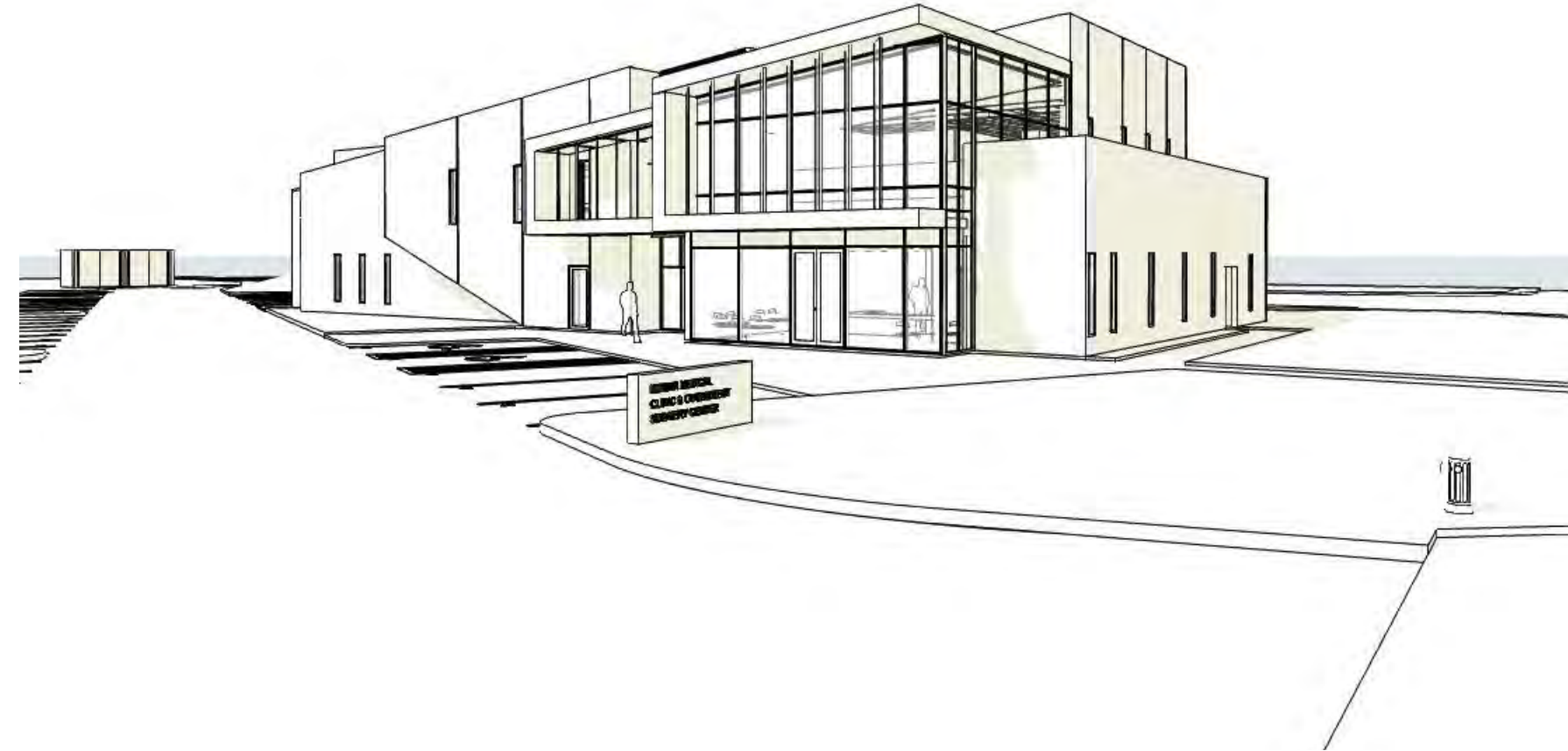
Orcutt|Winslow Project 2017_198-01 Dr. Kumar Medical Clinic. Conceptual Design Sheet A9 design review-building axon was plotted by Alex Buettner on Monday, January 29, 2018 at 11:13 AM. file found at BIM Server: HC Bimserver - BIM Server 2\Health Care Studio\17_198-01_L. Dr. Kumar MOB



PERSPECTIVE 3



PERSPECTIVE 2



PERSPECTIVE 1

orcutt|winslow

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com

15251
WILLIAM W. SHEELY
ARCHITECT
ARIZONA, U.S.A.
expires 06/30/19

Dr. Shantha Kumar

Dr. Kumar Medical Clinic

7615 E. Baseline Road, Mesa, Arizona 85209

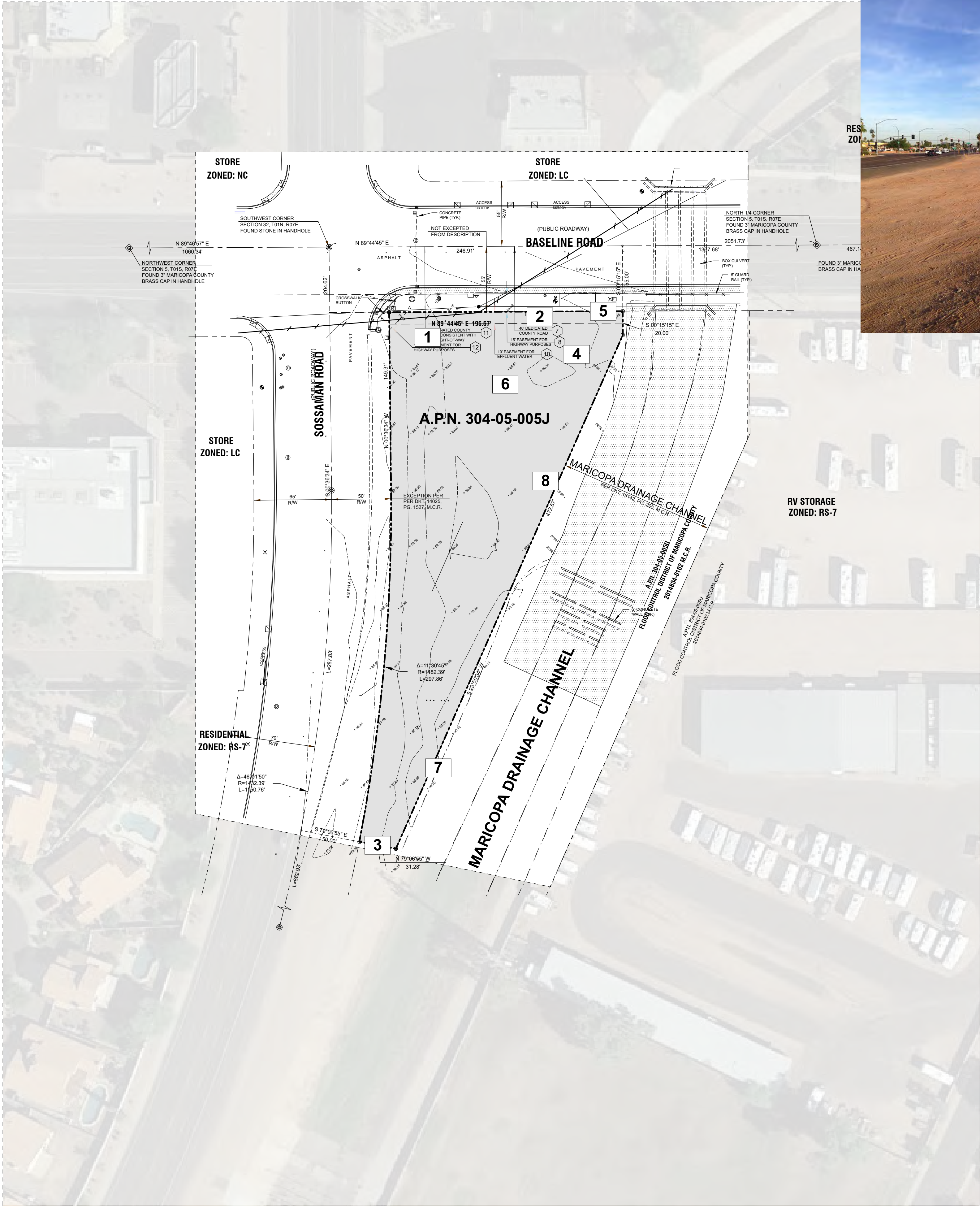
CLIENT CONTACT		
Dr. Shantha Kumar 99 S Gold Dr Suite 5 Apache Junction, AZ 85120	602.69402190 t skumar1030@yahoo.com	
PROJECT NO. 2017_198-01	DATE OF ISSUE 01.26.2018	
REVISION NO.	DATE	

PROJECT TEAM Healthcare	DRAWN BY AB
----------------------------	----------------

PROJECT PHASE Design Review

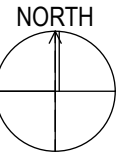
SHEET CONTENTS design review-building axon

SHEET NO. A9



EXISTING SITE PLAN

SCALE: 1" = 50'
0 20' 50' 100'



3



2



1



5



4



7



6



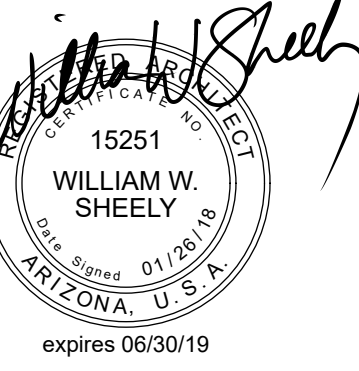
8

orcutt|winslow

2929 n central ave
eleventh floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com



© 2011 this first copy or electronic drawing is an instrument of service and the property of the Orcutt|Winslow Partnership and shall remain their property. The design professional shall not be responsible for any alterations, modifications or additions made to the drawing by any party other than the design professional. Use of this drawing shall be limited to the original site for which it was prepared and publication thereof is expressly limited to such use. No use or reproduction, in whole or in part, is permitted without the written consent of the design professional. Any reproduction, in whole or in part, is prohibited without the written permission of the design professional. Any information obtained or conclusions derived from this drawing shall be at the user's sole risk.

Dr. Shantha Kumar
Dr. Kumar Medical
Clinic
7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Dr Suite 5
Apache Junction, AZ
85120

602 69402190 t
skumar1030@yahoo.com

PROJECT NO.
2017_198-01

DATE OF ISSUE
01.26.2018

REVISION NO.

DATE

PROJECT TEAM
Healthcare

DRAWN BY
AB

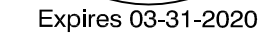
PROJECT PHASE
Design Review

SHEET CONTENTS

design review-photographs of
existing site

SHEET NO.

A10



D|H|E
ENGINEERING
3300 N. Central Ave, STE 1520
Phoenix, AZ 85012
TL 602.606.7432
www.dheengineering.com
Job Number: 00551.00

7615 E. Baseline Road, Mesa, Arizona 85209

Dr. Shantha Kumar 602 6902190 t
99 S Gold Suite 5
Phoenix, AZ 85120 skumar1030@yahoo.

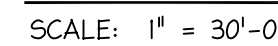
2017_198-01 01.09.2018



Healthcare

Design Review

SITE LIGHTING PLAN

E-011



Schedule						
Symbol	Label	Quantity	Manufacturer	Fixture Lumens	Light Loss Factor	Wattage
	S1	6	KIM LIGHTING	7661.826	0.9	99.6
	S2	1	HUBBELL OUTDOOR LIGHTING	2041.002	0.9	19.8



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Perimeter	□	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Site Calc	+	0.4 fc	4.8 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	Quantity	Manufacturer	Fixture Lumens	Light Loss Factor	Wattage
□	S1	6	KIM LIGHTING	7661.826	0.9	99.6
□	S2	1	HUBBELL OUTDOOR LIGHTING	2041.002	0.9	19.8

SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

orcutt winslow

3003 n central ave
sixteenth floor
phoenix az 85012
mail@owp.com

602.257.1764 t
602.257.9029 f

www.owp.com

37389
RICHARD M.
SEGER
03.26.18
ARIZONA, USA
Expires 03-31-2020

© 2014 Orcutt Winslow. All rights reserved. This drawing is the property of Orcutt Winslow. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Orcutt Winslow. The user of this drawing shall be responsible for the accuracy of the information contained herein and for the results of any action taken based on the information contained herein. The user shall indemnify and hold Orcutt Winslow harmless from and against all claims, damages, losses, and expenses, including reasonable attorneys' fees, arising from the use of this drawing, whether or not such claims, damages, losses, and expenses are caused in whole or in part by the negligence of Orcutt Winslow.

D|H|E

ENGINEERING

3300 N. Central Ave. STE 1520
Phoenix, AZ 85012
TL 602.606.7432
www.dheengineering.com
Job Number: 00551.00

Dr. Shantha Kumar

Dr. Kumar Medical
Clinic

7615 E. Baseline Road, Mesa, Arizona 85209

CLIENT CONTACT

Dr. Shantha Kumar
99 S Gold Suite 5
Phoenix, AZ 85120

602.6902190 t
skumar1030@yahoo.com

PROJECT NO.

2017_198-01

DATE OF ISSUE

01.09.2018

REVISION NO.

DATE

PROJECT TEAM

Healthcare

DRAWN BY

PROJECT PHASE

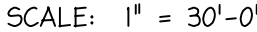
Design Review

SHEET CONTENTS

SITE LIGHTING PHOTOMETRIC
PLAN

SHEET NO.


E-012



19. All joints between PVC conduit, couplings and fittings shall be prepared with purple primer and cemented together with gray PVC cement.

47. Contractor shall remove and dispose of all P-301 poles where impacted by project requirements. All other lighting equipment shall be returned to the lighting foreman (480-644-3178) with 48 hours notice.

E-021

Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	R1	4	ERS1_B3A1540_____ 120-277V	Evolve LED Roadway Scalable Specification Grade Cobrahead	LED	1	5398 227	0.9	60

Dr. Kumar Medical Clinic • Narrative

Case Number: DRB18-00060/ZON18-00061

Address: 7615 E Baseline Rd

Location: SEC Corner of Sossaman and Baseline

Facilitator: Evan Balmer, AICP, Planner 1

Contact: 480-644-5296

Date: March 5, 2018

OW Project No. 20174_198-01

General:

The proposed Kumar Medical Clinic and Ambulatory Surgery Center represents a much-needed use in the east Mesa area. This two-story building will bring specialized Cardio Vascular diagnosis and treatment to many of the residents in the adjacent 55 and older age restricted communities. It is currently planned to include a 5,500 sf Surgery Center with a state of the Art Hybrid Operating Room and 2,500 sf Clinic on the ground floor, with a second level mezzanine used for the storage of medical equipment. Total building area under roof is 12,000 sf.

Site Design:

Located at the SE corner of Baseline and Sossaman Road, the property is an unusual triangular shaped piece of property that appears to be a remnant site left over from the Maricopa Drainage Channel development and has never been developed. The North East/West, and South West corners of the intersection appear to have small commercial uses that are empty. We believe the medical use on this site can be a catalyst for revitalization of this area.

The sites relatively small size, 49,500 sf net, and its unusual shape are the primary drivers of the proposed buildings location and geometry. To allow safe vehicular access into the site we are proposing a new drive on Sossaman Rd. at the south end of the site aligning with the existing drive to the west, and a new driveway on Baseline Rd. positioned as far east as possible. The main building entry is located on the east side, directly off of the parking lot. The buildings positioning screens a parking lot of 40 spaces. Total required parking for this project is 1 space per 200 sf or 40 spaces. 40 spaces are provided.

Landscape will be designed to match the desert plant palette of the area and will be drought tolerant. Site lighting will be designed to be consistent with city requirements for light level.

Building Design Character:

The functional program of the space is the main determinate of the building form. Surgery suites, and exam rooms function best using a regular pattern or geometry. The result is a straightforward organization of spaces that create a rectilinear building envelop that are covered by a single slope main roof that emphasizes the buildings presence from the intersection but reduces in height as it slopes south. A honed masonry block at the base of the building in a warm light grey with upper sections of EIFS over metal framed walls will be the primary building finish. The building lobby frames the Superstition Mountains to the East. Glazing will be non-reflective tinted/clear glass in clear anodized frames. Low slope roofs with parapets will provide screening of roof top located equipment. An emergency generator will be located on the ground within a screened service yard.

2929 n central ave
eleventh oor
phoenix az 85012

602 257 1764 t
602 257 9029 f

www.owp.com

BIZ(Bonus Intensity Zoning) Requests

Due to the small size, 49,500 sf net, and its unusual shape, the site has influenced the buildings location and geometry. We would like to request two minor modifications to the zoning ordinance and code; we believe our justifications would allow for this catalytic development to take full advantage of the site.

1.Modification:

-Request to reduce the required landscape setback at the east property line. The current set back is 15', requested landscape setback is 0'.

Justification: To allow safe vehicular access into the site we are proposing a new drive on Sossaman Rd. at the south end of the site aligning with the existing drive to the west, and a new driveway on Baseline Rd. positioned as far east as possible. This creates a natural parking layout that follows the angle south east property line. We are proposing to place the majority of the parking consisting of 28 spaces along the southeast site boundary adjacent to the property line. The property adjacent to the east property line, belongs to the Flood Control District of Maricopa County, as is a flood control channel with no landscaping. A storage yard is located further to the east.

2.Modification:

-Request to designate storage spaces above the clinic and future surgery center as two independent mezzanine spaces. We are asking for relief from this floor area contributing to the parking requirements.

Justification: By classifying these spaces as a mezzanine, we are able to keep our current parking count at 40 spaces which maximizes the amount of given space that the unusually shaped property allows. These mezzanine spaces are to be S-1 occupancy and will be separated by a 1 hour rated wall.

Bonus Intensity Zone (BIZ) Requests Table		
City of Mesa		
Location: 7615 E. Baseline Road, Mesa, Arizona 85209		
Current Zoning: LC (Limited Commercial)		
Proposed Zoning: LC BIZ		
Zoning Development Standards	LC	LC BIZ
Minimum Lot Area	10,000 sf	49,500 sf
Minimum Lot Width	100 ft	297.86 ft
Minimum Lot Depth	100 ft	Avg. 114 ft
Maximum Height	30 ft	32'-10 3/4"
		Avg. 28'-3 1/2"
Minimum Setback-Front/ Street Facing side	15 ft	15 ft
Minimum Setback-Interior/ Rear side-Non-residential	15 ft	0 ft
-required amount to be landscaped	15 ft	0 ft
Setback at Street Intererections-Minimum Radius	25 ft	25 ft

Project's Conformance to the Bonus Intensity Zone Overlay District

Response to Chapter 21 BIZ Development Standards-11-21-3 (summarized)

1. Provide distinctive superior quality designs.

Response: The proposed project meets a holistic design approach showcasing building forms that respond to the shape of the site, as well as a landscape design that match that of the desert context.

2. Address environmental performance standards outlined below:

- a. Site selection criteria. Sites shall meet on or more of the following criteria

- i. Redevelop and rehabilitate economically distressed properties, damaged sites or environmentally contaminated "brownfield" sites.

Response: The proposed site currently sits vacant. It's odd shape and adjacency to a flood control channel has made the site difficult to develop. The proposed use of this project plans to provide much needed development to the area.

- ii. Utilize areas with existing utility and transportation infrastructure and existing community services

Response: The proposed site will be utilizing existing utility lines.

- iii. Utilize locations within ½ mile of a planned light rail line or ¼ mile from an existing or planned bus stop.

Response: The proposed site contains a bus stop for the 108 bus line at the corner intersection of Baseline and Sossaman.

- b. Site design criteria. Designing the site to facilitate alternative modes of transportation and to reduce onsite environmental impacts.

- i. Provide safe and secure storage for bicycles. For commercial, employment or institutional project, bicycle storage areas shall be within 200 yards of the building entrance, and shall have a designated and convenient pedestrian access route connecting the storage area to the building.

Response: Bike parking will be provided located within feet of the main entrance. 4 parking spaces will be provided, to meet the zoning code requirement.

- ii. Include priority location parking for low-emission vehicles in parking areas

Response: Able to comply.

- iii. Provide priority location parking spaces for carpool vehicles

Response: Able to comply.

- iv. Provide the number of parking spaces designed to serve a development site consistent with the number of spaces required to meet the minimum parking ratio.

Response: The minimum required parking for this building is 40 spaces. The amount of parking provided is 40 spaces. We are requesting the spaces above the clinic and future ASC to be considered mezzanine spaces to reduce the total parking count.

- v. For greenfield sites, protect or restore natural areas on site with native vegetation to encourage biodiversity and for enjoyment by people. For previously developed sites, restore areas with native or adapted vegetation to encourage biodiversity and for enjoyment by people. The size of the

space should be appropriate for the size of the site and the activity level or use of the site.

Response: N/A

- vi. Design the project to be energy efficient including, but not limited to, designed to reduce summer heat gain, reduce winter heat loss, utilize day lighting strategies and provide the opportunity for occupants to take advantage of renewable energy. The design also mitigates the effects of solar exposure for users and pedestrians. For purposes of this criterion, buildings that have efficient HVAC systems, incorporate passive solar heating, cooling and day lighting strategies within an efficient building envelope, as recommended by the Department of Energy's Energy Efficiency and Renewable Energy section.

Response: *This project is designed using passive solar techniques to achieve an energy efficiency. This building will meet the 2009 IECC standard for the City of Mesa, a COMcheck will be provided.*

- c. Provide documented evidence that the building will meet or exceed nationally recognized environmental performance standards.
- d. Utilize areas with existing utility and transportation infrastructure and existing community services

Response: *The proposed site will be utilizing existing utility lines.*

- e. Redevelop and rehabilitate economically distressed properties, damaged sites or environmentally contaminated "brownfield" sites.

Response: *The proposed site currently sits vacant. It's odd shape and adjacency to a flood control channel has made the site difficult to develop.*

- f. Utilize locations within ½ mile of a planned light rail line or ¼ mile from an existing or planned bus stop.

Response: *The proposed site contains a bus stop for the 108 bus line at the corner intersection of Baseline and Sossaman.*

- 3. Provide documented evidence that the building will meet or exceed nationally recognized environmental performance standards.

Response: *This project is designed using passive solar techniques to achieve an energy efficiency. This building will meet the 2009 IECC standard for the City of Mesa, a COMcheck will be provided.*